

Planning Department Development Application Form

Complete Application

A complete development application consists of the following:

1. A completed, signed, and notarized application form
2. Supporting information adequate to illustrate your proposal as indicated in **Section H** of this application form
3. Written authorization from the registered owner of the subject lands where the applicant is not the owner as per Section N
4. Cash, debit, credit or cheque payable to Norfolk County in the amount set out in the user fees By-Law that will be accepted and deposited once the application has been deemed complete.

Pre-Submission Consultation:

Norfolk County requires a Pre-Consultation Meeting for all applications; however, minor applications may be exempted depending on the nature of the proposal. The purpose of a Pre-Consultation Meeting is to provide the applicant with an opportunity to present the proposed application, discuss potential issues, and for the Norfolk County and Agency staff to identify the application requirements. Application requirements, as detailed in the Pre-Consultation Meeting Comments, are valid for one year after the meeting date.

Development Application Process

Once an application has been deemed complete by a Planner, Norfolk County staff will circulate the application to adjacent landowners, public agencies, and internal departments for comment. The time involved in application processing varies depending on its complexity, acceptability to the other agencies, and statutory Planning Act decision time-frames.

Payment is required once your application is deemed complete. Pre-payments will not be accepted.

Norfolk County collects personal information submitted through this form under the Municipal Freedom of Information and Protection Act's authority. Norfolk County will use this information for the purposes indicated or implied by this form. You can direct questions about collecting personal information to Norfolk GIS Services at NorfolkGIS@norfolkcounty.ca.

Additional studies required for the complete application shall be at the applicant's sole expense. Sometimes, peer reviews may be necessary to review particular studies at the applicant's expense. In these cases, Norfolk County staff will select the company to complete the peer review.

Norfolk County will refund the original fee if applicants withdraw their applications before circulation. If Norfolk County must recirculate your drawings, there will be an additional fee. If Norfolk County must do more than three reviews of engineering drawings due to revisions by the owner or failure to revise engineering drawings as requested, Norfolk County will charge an additional fee. Full refunds are only available before Norfolk County has circulated the application.

Notification Sign Requirements

For public notification, Norfolk County will provide you with a sign to indicate the intent and purpose of your development application. It is your responsibility to:

1. Post one sign per frontage in a conspicuous location on the subject lands.
2. Ensure one sign is posted at the front of the subject lands at least three feet above ground level and not on a tree.
3. Notify the Planner when the sign is in place.
4. Maintain the sign until the development application is finalized and, after that, remove it.

Contact Us

For additional information or assistance completing this application, please contact a Planner at 519-426-5870 or 519-875-4485 extension 1842 or planning@norfolkcounty.ca. Please submit the completed application and fees to the attention of the Planning Department at 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6.

For Office Use Only:

File Number	_____	Public Notice Sign	_____
Related File Number	_____	Application Fee	_____
Pre-consultation Meeting	_____	Conservation Authority Fee	_____
Application Submitted	_____	Well & Septic Info Provided	_____
Complete Application	_____	Planner	_____

Check the type of planning application(s) you are submitting.

- ☐ Official Plan Amendment
- ☐ Zoning By-Law Amendment
- ☐ Temporary Use By-law
- ☐ Draft Plan of Subdivision/Vacant Land Condominium
- ☐ Condominium Exemption
- ☐ Site Plan Application
- ☐ Extension of a Temporary Use By-law
- ☐ Part Lot Control
- ☐ Cash-in-Lieu of Parking
- ☐ Renewable Energy Project or Radio Communication Tower

Please summarize the desired result of this application (for example, a special zoning provision on the subject lands to include additional use(s), changing the zone or official plan designation of the subject lands, creating a certain number of lots, or similar)

Property Assessment Roll Number: _____

A. Applicant Information

Name of Owner

Address

Town and Postal Code

Phone Number

Cell Number

Email

Name of Applicant

Address

Town and Postal Code

Phone Number

Cell Number

Email

Name of Agent

Address

Town and Postal Code

Phone Number

Cell Number

Email

Unless otherwise directed, Norfolk County will forward all correspondence and notices regarding this application to both owner and agent noted above.

☐ Owner

☐ Agent

☐ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

Municipal Civic Address: _____

Present Official Plan Designation(s): _____

Present Zoning: _____

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☐ No If yes, please specify corresponding number:

3. Present use of the subject lands:

4. Please describe **all existing** buildings or structures on the subject lands and whether they will be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from the front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☐

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☐ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☐ No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☐ No If yes, describe its effect:

5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?
☐ Yes ☐ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

6. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

7. Description of proposed right-of-way/easement:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

9. Site Information**Zoning****Proposed**

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	_____	_____
Lot depth	_____	_____
Lot width	_____	_____
Lot area	_____	_____
Lot coverage	_____	_____
Front yard	_____	_____
Rear yard	_____	_____
Left Interior side yard	_____	_____
Right Interior side yard	_____	_____
Exterior side yard (corner lot)	_____	_____
Landscaped open space	_____	_____
Entrance access width	_____	_____
Exit access width	_____	_____
Size of fencing or screening	_____	_____
Type of fencing	_____	_____

10. Building Size

Number of storeys	_____	_____
Building height	_____	_____
Total ground floor area	_____	_____
Total gross floor area	_____	_____
Total useable floor area	_____	_____

11. Off Street Parking and Loading Facilities

Number of off street parking spaces	_____	_____
Number of visitor parking spaces	_____	_____
Number of accessible parking spaces	_____	_____
Number of off street loading facilities	_____	_____

12. Residential (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe: _____

Type	Number of Units	Floor Area per Unit in m2
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	_____	_____
Street Townhouse	_____	_____
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool):

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe:

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

Seating Capacity (for assembly halls or similar): _____

Total number of fixed seats: _____

Describe the type of business(es) proposed: _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Is open storage required: ☐ Yes ☐ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☐ No If yes please describe:

14. Institutional (if applicable)

Describe the type of use proposed: _____

Seating capacity (if applicable): _____

Number of beds (if applicable): _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

15. Describe Recreational or Other Use(s) (if applicable)

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☐ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station or petroleum storage):

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☐ No ☐ Unknown

3. Provide the information you used to determine the answers to the above questions:

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☐ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☐ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☐ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☐ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☐ within 500 meters – distance _____

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

- | | |
|--|---|
| <input type="checkbox"/> Municipal piped water | <input type="checkbox"/> Communal wells |
| <input type="checkbox"/> Individual wells | <input type="checkbox"/> Other (describe below) |
-

Sewage Treatment

- | | |
|---|---|
| <input type="checkbox"/> Municipal sewers | <input type="checkbox"/> Communal system |
| <input type="checkbox"/> Septic tank and tile bed in good working order | <input type="checkbox"/> Other (describe below) |
-

Storm Drainage

- | | |
|---|---------------------------------------|
| <input type="checkbox"/> Storm sewers | <input type="checkbox"/> Open ditches |
| <input type="checkbox"/> Other (describe below) | |
-

2. Existing or proposed access to subject lands:

- | | |
|---|---|
| <input type="checkbox"/> Municipal road | <input type="checkbox"/> Provincial highway |
| <input type="checkbox"/> Unopened road | <input type="checkbox"/> Other (describe below) |

Name of road/street: _____

G. Other Information

1. Does the application involve a local business? ☐ Yes ☐ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location

32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Architectural Plan
- ☐ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☐ Erosion and Sediment Control Plan
- ☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☐ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☐ Site Servicing Plan
- ☐ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study

- ☐ Functional Servicing Report
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration
- ☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Development Agreements

A development agreement may be required prior to site plan approval, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

J. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required, it is their solicitor's responsibility on behalf of the owner, to disclose the registration of all transfer(s) of land and/or easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.


Owner/Applicant Signature

06/26/2025
Date

M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Jenny Bettencourt am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize Antech Design to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.


Owner

E. C. F. W. S.
Owner

06/26/25
Date

06/26/25
Date

N. Declaration

I, _____ of _____

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

Candice Micucci

Owner/Applicant Signature

In _____

This _____ day of _____

A.D., 20____

A Commissioner, etc.

Sandra Rose Micucci
a Commissioner, etc., Province of
Ontario, for 2250418 Ontario Ltd. o/a
Antech Design and Engineering Group.
Expires August 22, 2025



Norfolk County Pre-Consultation Checklist

Please select the type of application required:

- | | |
|---|--|
| <input type="checkbox"/> Official Plan Amendment | <input type="checkbox"/> Draft Plan of Condominium |
| <input checked="" type="checkbox"/> Zoning By-law Amendment | <input type="checkbox"/> Site Plan |
| <input type="checkbox"/> Draft Plan of Subdivision | |

Please read all the information in this document on the requirements for future development planning applications. As a result of the information shared at the pre-consultation meeting dated May 28, 2025, the following applications and qualified professional documents/reports are required as part of a complete application. Please include all listed items with the application to ensure a complete application. The County reserves the right to change, reduce or add requirements for a complete application, particularly if the submission does not match the proposal as reviewed during the pre-submission consultation meeting.

Please note that various fees are associated with each application, and there are also costs for qualified professionals retained to complete various documents/reports. All requirements identified are minimum and determined as of the date of the pre-consultation meeting, with the information available at that time. As the proposal proceeds, more information is made public, additional applications, studies, reports, etc., may be required. **The information in this document is applicable for a maximum of one (1) year from the meeting date.**

Before you submit your application, please contact the assigned Planner to confirm submission requirements and the applicable fee. Fees will not be accepted until the submission has been reviewed and confirmed by the Planning Department.

1. Property Information and Proposal Summary

Registered owner: Jennifer Bettencourt

Applicant/agent (if different than owner): Candice Micucci

Property address: 9 Scott Drive, Port Dover

Roll Number: 3310334030398040000

Current Official Plan designation and Zoning: Urban Residential Official Plan Designation, and Residential (R1-A) Zoning.

Proposal: The applicant proposes a zoning by-law amendment from R1-A to R4 to permit the construction of stacked townhouse units.

2. Assigned File Planner

Name and Title: Josh Mueller, Planner

Phone Number: 519-426-5870 ext. 5039

E-mail: Joshua.mueller@norfolkcounty.ca

3. Required Studies and Plans for Complete Application

Submission Materials	Required?	Notes:
Planning Requirements		
Completed Application Form	<input checked="" type="checkbox"/>	
Concept Plan	<input checked="" type="checkbox"/>	
Survey/Legal Plan	<input checked="" type="checkbox"/>	
Topographical Survey	<input checked="" type="checkbox"/>	
Archeological Assessment	<input checked="" type="checkbox"/>	
Planning Justification Report	<input checked="" type="checkbox"/>	Not Required for site plan applications or standard draft plan of condominium
Engineering Requirements		
Functional Servicing Report/ Stormwater Management Report	<input checked="" type="checkbox"/>	Water and Wastewater Demand and Output (capacity needs) computations. Shall include system pressure and Fire Flow assessment.
Water Modelling (County Consultant)	<input checked="" type="checkbox"/>	System modelling to determine system capacity (available/proposed) completed by County consultant at Applicants cost.
Sanitary Modelling (County Consultant)	<input checked="" type="checkbox"/>	System modelling to determine system capacity (available/proposed) completed by County consultant at Applicants cost.

4. Detailed Comments Pertinent to the Application:

i. **Norfolk County Planning and Agreement**

Contact Name(s) and Title(s): Josh Mueller, Planner

Email: Joshua.mueller@norfolkcounty.ca

Comments:

Planning is seeking a Planning Justification Report to support the rezoning of the lands.

A Zoning By-law amendment is required. The current zoning is Residential Type 1 (R1-A) Zone, which does not permit stacked townhouses.

The property is designated Residential. No OPA required.

Agreement Services

Annette Helmig, Agreement and Development Coordinator

Email: Annette.helmig@norfolkcounty.ca

Comments:

Wonderful to hear about your proposal.

If performance securities for the infrastructure works are an obligation of your site plan approval you will be required to enter into a development agreement with the County. The agreement will be registered on title at the owner's expense. The owner will also be required to secure commercial general liability insurance coverage. The coverage must be kept in force during the duration of construction until after a successful site inspection and release of the performance securities. The attached information sheet will assist you with a complete submission if an agreement is required.

All the best with your development.

ii. **Norfolk County Building**

Contact Name(s) and Title(s): Lisa Jennings, Building Inspector II

Email: lisa.jennings@norfolkcounty.ca

Comments:

The proposed construction is considered a Group C residential occupancy as defined by the Ontario Building Code (OBC). Due to the size of the buildings (and full architectural plans not submitted for this pre-con) You will need to retain the services of a qualified individual with BCIN Small Buildings/Building Services, an Architect and/or a Professional Engineer to complete the design documentation for this application.

The Designer will need to provide a Part 3 Building Code matrix. This matrix represents selected elements from your detailed code analysis and presents a quick overview of the municipal building official of the key OBC factors concerning your design. The matrix will identify OBC review items such as occupant loads, fire separations, project description, building size, building classification, fire alarms, type of construction, barrier free requirements, plumbing fixture requirements and spatial separations.

The designer will need to complete permit plans using the new 2024 Ontario Building Code.

No Ontario Building Code review has been completed at this time and will be done at permit application stage.

Please visit our website for more information regarding building permits, applications, forms, fees and inspections. The link to our website is included below:

[Building and Renovating | Norfolk County](#)

No LPRCA as per GIS mapping.

MTO approvals/exemptions required prior to permit application.

With there being a swale across this property, it is suggested that there could be seasonal high water table concerns, and this should be looked at for footing designs and damp-proofing/waterproofing. If there is a significant amount of water that collects on this site with no possible drainage as this is most likely clay, there could be a concern for hydrostatic pressure and ingress of water. Engineering may be required at footing inspections stages if this project goes through.

Above ground electrical conductors appear to cross property line at northeast corner of the property. Buildings to comply with OBC 9.1.1.5 and 3.1.20. (new 2024 code)

Hydro One infrastructure listed in our mapping systems.

3.1.20. Clearance to Buildings

(1) A *building* shall not be located beneath existing above ground electrical conductors.

(2) The horizontal clearance measured from the maximum conductor swing to the *building*, including balconies, fire escapes, flat roofs or other accessible projections beyond the face of the *building*, shall,

- (a) be not less than 1 m, for electrical conductors carrying voltages 750 V or less, except where necessary to connect to the electrical wiring of the *building*,
- (b) be not less than 3 m, for electrical conductors carrying voltages greater than 750 V but not exceeding 46 kV,
- (c) be not less than 3.7 m, for electrical conductors carrying voltages greater than 46 kV but not exceeding 69 kV, or
- (d) conform to the requirements of CAN/CSA-C22.3 No.1, "Overhead Systems", for electrical conductors carrying voltages greater than 69 kV.

(3) Where the swing of an above ground electrical conductor not owned or operated by an electrical supply authority is not known, a swing of not less than 1.8 m shall be used.

(4) Sentences (1) to (3) do not apply to a *building* containing electrical equipment and electrical installations used exclusively in the generation, transformation or transmission of electrical power or energy intended for sale or distribution to the public.

iii. **Norfolk County Engineering and Infrastructure Services**

Contact Name and Title: Brett Hamm, Development Technologist

Email: Brett.hamm@norfolkcounty.ca

Comments:

- Entrances are required to conform to Entrance By-Law 2016-32
- Since this will not be going through part lot control, additional sanitary laterals to be removed with only one service permitted to the entire lot.
- After a review of the watermain distribution system pressures in the area, the County has concerns over the ability for the network to support the requested building density. As such, in accordance with the Planning Act, a holding provision should be applied to the intended R4 zoning. The applicant will be required to complete watermain and sanitary modelling to confirm system pressures/available capacity and will complete any required system upgrades, as may be necessary, to support the intended development. The holding provision (H) will be removed after all modelling and any required system upgrades have been completed. It should also be noted that securities will be required for all work within the municipal right-of-way, posted through either a pre-servicing agreement or a Road Occupancy Permit, and at 100%.

iv. Norfolk County Economic Development

Contact Name and Title: Lindsay Kalliokoski, Economic Development Coordinator

Email: Lindsay.kalliokoski@norfolkcounty.ca

Comments:

On behalf of Economic Development, I'd like to include a link to our Community Improvement Plan Incentives: <https://norfolkbusiness.ca/business-aid-grants/community-improvement-plan-incentives/>

v. Norfolk County Accessibility:

Contact Name and Title: Sam McFarlane, Manager, Accessibility and Special Projects

Email: sam.mcfarlane@norfolkcounty.ca

Comments:

No comments from Accessibility

vi. Norfolk County Fire Services

Contact Name and Title: Katie Ballantyne, Community Safety Officer

Email: katie.ballantyne@norfolkcounty.ca

Comments:

Norfolk Fire has the following comments:

- Please notify NCFD if electric vehicle charging or battery storage (e.g., Tesla wall) infrastructure will be provided
- Ensure proper fire separations, life safety devices, and any other requirement be provided as per the OBC

vii. Ministry of Transportation

Contact Name and Title: Michael Kilgore, Corridor Management Planner

Email: michael.kilgore@ontario.ca

Comments:

The Ministry of Transportation (MTO) has completed its review of the proposed plans and other application documents related to the development of Part 4 Plan 37R-11761, which was submitted for pre-consultation meeting held on May 28th, 2025. The plan was considered in accordance with the Public Transportation and Highway Improvement Act (PTHIA), MTO's Highway Corridor Management Manual (HCMM) and all related guidelines and policies. The following outlines our comments:

The subject property is located adjacent to Highway 6, which is classified as a Provincial Collector and designated as a Kings Highway (KH). As such, all

requirements, guidelines, and best practices in accordance with this classification and designation shall apply.

The owner should be aware that the property falls within MTO's Permit Control Area (PCA), and as such, MTO Permits are required before any demolition, grading, construction, or alteration to the site commences. In accordance with the Ontario Building Code, municipal permits may not be issued until such time as all other applicable requirements (i.e.: MTO permits/approvals) are satisfied. As a condition of MTO permit(s) MTO will require the following for review approval:

Site Plan:

An MTO Building and Land Use Permit is required. As a condition of MTO permits, the following shall be provided:

- The Proponent shall submit an acceptable Site Plan, Grading Plan, and Drainage Plan for MTO review and approval. These plans shall clearly identify all structures/works (existing and proposed). MTO requires all buildings, structures, and features integral to the site to be located a minimum of 8 metres from the highway property limit (along Highway 6).

Traffic Impact Study: may be required, following MTO's review of a traffic brief, to be submitted for MTO review and approval, indicating the anticipated volumes of traffic and its impact upon Highway 6.

- The TIS will be prepared by a Registry, Appraisal and Qualification System (RAQS) qualified transportation consultant in accordance with MTO traffic guidelines.
- The list of prequalified ESPs is publicly available on MTO Technical Publications website, under Qualifications.
- MTO will be available to review the TIS scope of work once prepared, to ensure MTO concerns are addressed.
- Should highway improvements be identified, it shall be the responsibility (financially and otherwise) of the owner to acquire any required property, and to design and construct the works in accordance with MTO standards, specifications, and criteria.

MTO Permits for the development may not be available if any required highway improvements cannot be geometrically accommodated to the appropriate MTO design standards. If this occurs, the proponent may need to revisit the level of intensification of the development, and work with MTO to determine an alternate access scenario with less impact to the provincial highway network.

Encroachments:

Any encroachments and proposed work within the Highway 6 property limits are subject to MTO conditions, approval and permits, prior to construction. All provincial highway property encroachments are strictly regulated and must

meet all conditions set out by MTO. Please note, that any utility Highway crossing must avoid the functional area of the intersection.

Should the applicant choose to proceed with the proposal, the following MTO Permits will be required for this site:

- 1 – MTO Building and Land Use Permit will be required for the site;
- Individual Encroachment Permits may be required, should any servicing connections/infrastructure be required within MTO property limits, where connections are not possible from Scott Drive.

Please visit MTO's Highway Corridor Management System (HCMS) web-portal, with a "Request a Pre-Consultation", "General Inquiry" or "Apply for Permit" function (<https://www.hcms.mto.gov.on.ca>). This platform has been developed to better serve the public and development sectors and track the status of a submission. Once submitted the file will be assigned to the appropriate MTO staff to facilitate.

viii. Mississaugas of the Credit First Nation

Contact Name and Title: Abby Lee LaForme, Consultation Coordinator

Email: abby.laforme@mncfn.ca

Comments:

This letter is to confirm receipt of the project-related correspondence sent by Norfolk County, on May 14, 2025, regarding Scott Drive, Port Dover.

The Mississaugas of the Credit First Nation (MCFN) are the Treaty Holders of the land on which the project will take place – specifically, the Between the Lakes Treaty No. 3, of 1792. The MCFN holds Indigenous and Treaty Rights specific to the project location and its environs, which may be adversely impacted by it. The Department of Consultation and Accommodation (DOCA) is designated by the MCFN to handle consultation matters on its behalf.

The DOCA consultation team has filed the project-related correspondence identified above. Upon our review, we have determined that **the project should be proceeded by, at minimum, a Stage 1 archaeological assessment** to determine the location's archaeological potential. DOCA must be notified of, invited to participate in, and provided the opportunity to review this archaeological assessment, as well as any environmental assessments. At its discretion, DOCA may request capacity funding from the proponent for its consultation and engagement activities relating to the project.

DOCA expects to be notified of any and all future project updates and/or changes.

ix. Six Nations of the Grand River

Contact Name and Title: Tierra Henhawk, Archaeological Community Monitor
Administrative Assistant

Email: acmaa@sixnations.ca

Comments:

SNGR request a minimum stage 1 archaeology assessment. SNGR Archaeological Supervisor Tanya Hill-Montour (tanyahill-montour@sixnations.ca) will require the Archaeological Assessment Report(s) for the project for her review and comments. Any archaeology that would proceed after the stage 1 assessment we request Six Nations archaeological monitor participation.

Nya:weh / Thank You!

5. Notes and Clauses:

1. The purpose of this document is to identify the information required to commence processing a complete application as set out in the Planning Act, R.S.O. 1990, CHAPTER P.13, as amended and the County's Official Plan.
2. Pre-consultation does not imply or suggest any decision whatsoever on behalf of staff or the County to either support or refuse the application.
3. The application should be aware that the information provided is accurate as of the date of the pre-consultation meeting. Should an application not be submitted within a year, and should other policies, by-laws or procedures be approved by the Province, County, or other agencies prior to the submission of a formal application, the applicant will be subject to any new policies, by-laws or procedures that are in effect at the time of the submission of a formal application. **If an application is not submitted within one (1) year, another pre-consultation meeting shall be required, unless an exception is granted in writing by the Director of Planning**
4. It is hereby understood that during the review of the application additional studies or information may be required as a result of issues arising during the processing of the application or the review of the submitted studies.
5. If the County does not have sufficient expertise to review and determine that a study is acceptable, the County may require a peer review. The terms of reference for a peer review is determined by the County and paid for by the applicant.
6. Please note if performance securities are required by the County to secure any internal and external development works, a recommended condition for your planning application approval will be to enter into a development

agreement with the County. The agreement will be registered on title to the subject lands, at the owner's expense. The additional requirements for an agreement could include, but are not limited to the following:

- Engineering drawing review
- Engineer's schedule of costs for the works
- Clearance letter and supporting documentation to support condition clearance
- User fees and performance securities
- Current property identification number (PIN printout)
- Owner's commercial general liability insurance certificate
- Professional liability insurance certificate
- Postponement of interest
- Transfers and / or transfer easements along with registered reference plan

Appendix A: Planning Reference Materials

Following is a summary of some land use planning reference materials. It is the requirement of the applicant to ensure compliance with applicable legislation, policies, and regulations.

Provincial Policy Statement, 2020

<https://www.ontario.ca/page/provincial-policy-statement-2020>

Norfolk County Official Plan

<https://www.norfolkcounty.ca/government/planning/official-plan/>

Section 9.6.1 outlines requirements in relation to requests to amend the Official Plan. Section 9.6.2 outlines requirements in relation to requests to amend the Zoning By-law.

It is the responsibility of the proponent to review and ensure relevant Official Plan policies are addressed in any future development application.

Norfolk County Zoning By-Law 1-Z-2014

<https://www.norfolkcounty.ca/government/planning/new-zoning-by-law/>

The provisions of the Norfolk County Zoning By-Law shall apply to all lands within the boundaries of Norfolk County. No land, building or structure shall be used, erected, or altered in whole or in part except in conformity with the provisions of this By-Law. No land, building or structure shall be used or occupied except for uses that are specifically identified in the By-Law as permitted uses by the relevant zoning category.

It is the responsibility of the proponent to review and ensure relevant Zoning By-law provisions are addressed in any future development application.

Endangered and Threatened Species:

Endangered and threatened species and their habitat are protected under the provinces Endangered Species Act, 2007 (ESA), O. Reg. 242/08 and O. Reg. 830/21. The Act prohibits development or site alteration within areas of significant habitat for endangered or threatened species without demonstrating that no negative impacts will occur. The Ministry of the Environment, Conservation and Parks ("MECP") provides the service of responding to species at risk information requests and project screenings. The proponent is responsible for discussing the proposed activity and having their project screened with MECP (Ministry of Environment, Conservation and Parks).

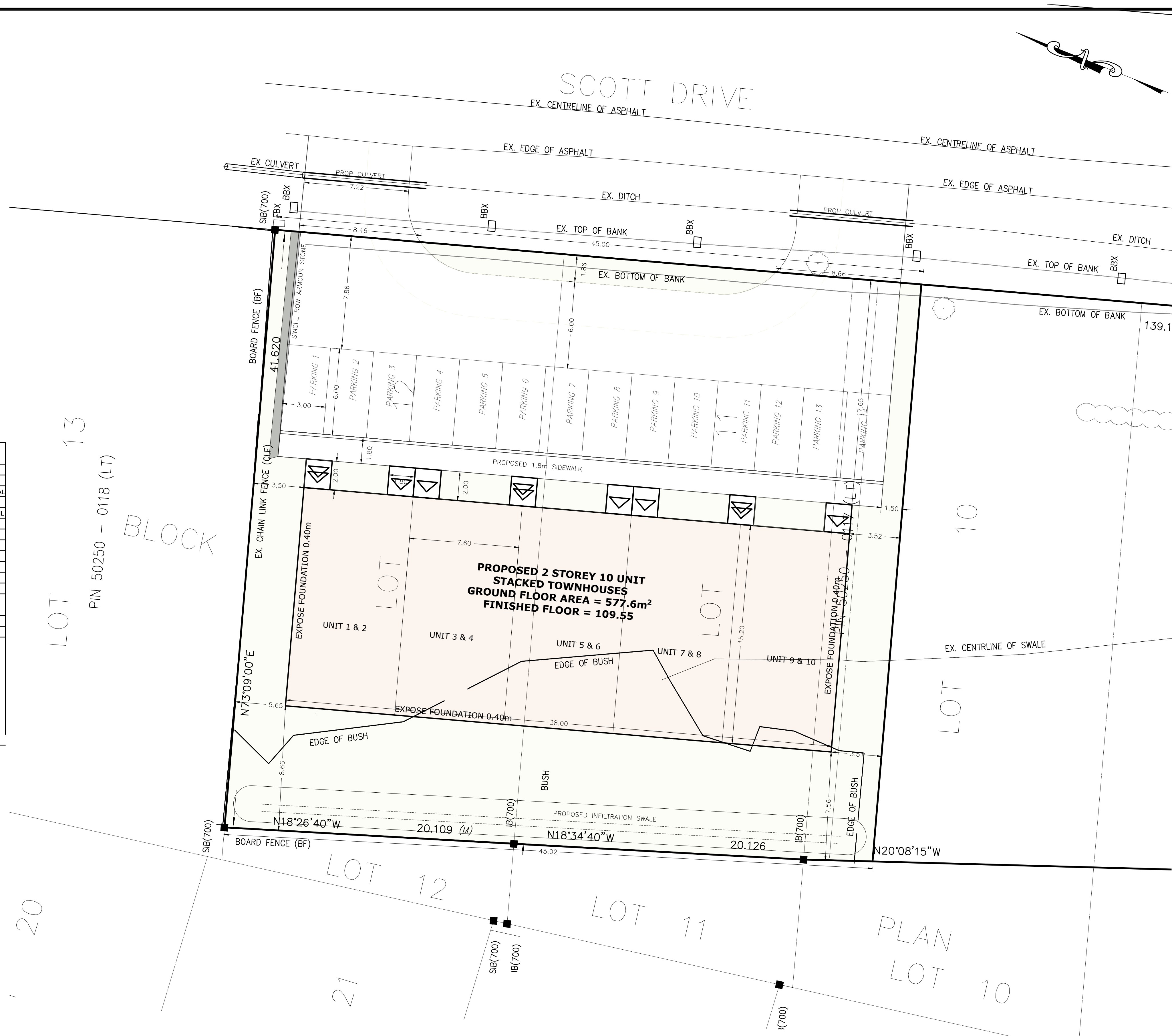
Please be advised that it is the owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws, or other agency approvals.

Summary of Fees, Forms, and other information pertaining to the planning process can be found by visiting <https://www.norfolkcounty.ca/government/planning/>

Norfolk County Engineering Design Standards

All applicants must adhere to Norfolk County's Design Criteria when undertaking a development project. Please contact Engineering and Infrastructure Services directly for a copy of Norfolk County's Design Criteria.

SITE STATISTICS			
	ZONING REQUIREMENTS	PROPOSED ZONING REQUIREMENTS	PROPOSED SPECIAL ZONE
OFFICIAL PLAN CATEGORY	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
ZONING BY-LAW CATEGORY	R1- A	R4- STACKED TOWNHOUSE	R4- STACKED TOWNHOUSE SPECIAL
MINIMUM LOT AREA	----		1843.1m ²
MINIMUM LOT AREA	450m ²	195m ² - NO GARAGE	184.3m² - NO GARAGE - SPECIAL
MINIMUM LOT FRONTAGE	15.0m	30m	45m
LOT COVERAGE			577.6/1843.1= 31.4%
MAXIMUM BUILDING HEIGHT	11.0m	11.0m	11.0m
MINIMUM FRONT YARD SETBACK	6.0m	3.0m	3.0m
MINIMUM REAR YARD SETBACK	7.5m	7.5m	7.5m
MINIMUM INTERIOR SIDE YARD SETBACK	3.0m	3.0m	3.0m
MINIMUM INTERIOR SIDE YARD SETBACK	1.2m	3.0m	3.0m
PARKING	2 PER UNIT	2 PER UNIT	PROPOSE 1.4 SPECIAL
MAXIMUM NUMBER OF TOWNHOUSE UNITS	8	8 UNITS	10 UNITS - SPECIAL
PARKING AISLE WIDTH	7.3m	7.3m	6.0m - SPECIAL
SECTION 4.2.4		For tri-plex dwellings, duplex dwellings, four-plex dwellings, street townhouses, stacked townhouses, and boarding or lodging houses, required parking spaces shall be prohibited within the required front yard or required exterior side yard; except where a dwelling unit has a private garage in which case the driveway leading to the private garage may be used as a parking space subject to the size requirements herein;	



KEY PLAN

NOTES

1. ALL TOPOGRAPHIC & SERVICE INFORMATION COMPILED FROM SURVEY DATA COMPLETED BY JEWITT AND DIXON LTD.
2. THE LOCATION & SIZE OF ALL MAINS, CONDUITS, WATERMAINS, SEWERS & OTHER UNDERGROUND & ABOVE GROUND UTILITIES & STRUCTURES ARE NOT NECESSARILY SHOWN ON THE DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION & SIZE OF SUCH UTILITIES & STRUCTURES IS NOT GUARANTEED.
3. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES & STRUCTURES & SHALL ASSUME ALL LIABILITY FROM DAMAGE TO SAME.
4. NO PART OF ANY EXISTING BUILDING OR BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED OR DEMOLISHED (INCLUDING SITE SERVICING) UNLESS A BUILDING PERMIT HAS BEEN ISSUED BY THE CHIEF BUILDING OFFICIAL.
5. EXISTING ENTRANCED CURBS, MANHOLES AND CURBS & SIDEWALKS RESTORED AS REQUIRED.
6. ALL WORKS INVOLVED IN THE CONSTRUCTION, RELOCATION AND REPAIR OF MUNICIPAL SERVICES FOR THE PROPOSED DEVELOPMENT SHALL BE TO THE SATISFACTION OF THE CHIEF BUILDING OFFICIAL.
7. STREET EXCAVATION PERMITS ARE REQUIRED FOR ANY WORK IN CITY RIGHT OF WAY BY ANY CONTRACTOR.
8. PRIVATE OWNER/DEVELOPER IS RESPONSIBLE FOR ALL EXISTING UTILITIES & STRUCTURES.
9. REMOVE CURBS/POUR NEW CURB FOR ANY NEW DRIVEWAYS OR DRIVEWAYS TO BE ABANDONED
10. STORM WATER DRAINAGE MUST NOT HAVE A NEGATIVE WATERSHED ADJACENT PROPERTIES.
11. DRIVEWAY SLOPES MUST BE 4% MAXIMUM, AND SIDEWALK CROSS FALL 2% TO 4% MAXIMUM.

UNITS & CONVERSION

ALL DIMENSIONS IN **METRES**.
(CONVERT TO FEET: DIVIDE BY 0.3048)

BEARING NOTE

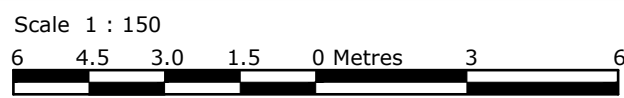
BEARINGS ARE GRID, DERIVED FROM SIMULTANEOUS GPS OBSERVATIONS ON MONUMENT A TO B SHOWN ON ORIGINAL PLAN HAVING A BEARING OF N60°51'10"E (UTM ZONE 17, (81° WEST LONGITUDE) NAD 83 (CSRS)(2010).

1	PRELIMINARY FOR ZBA	2025.06.26
0	INITIAL RELEASE	2025.03.19
REV.	DESCRIPTION	DATE

PROJECT

PROPOSED SITE PLAN OF
PART OF LOTS 7, 8, 9, 10, 11 & 12
BLOCK 77
REGISTERED PLAN 207
TOWN OF PORT DOVER
NORFOLK COUNTY

SCOTT DRIVE
PORT DOVER, ONTARIO
CITY FILE NO. NA



ANTECH
Design & Engineering Group
25 King Street, Brantford, ON. N3T 3C4
www.antechedesign.com

CLIENT

JENNY BETTENCOURT

DRAWN: CHM		CHECKED: JAB	DATE: 2025.03.19
SHEET: SITE PLAN			
DRAWING NO. 250905 - V101			REV. 1

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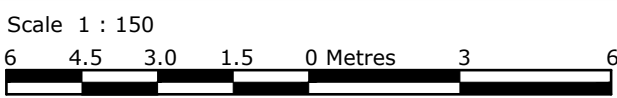
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CLIENT

JENNY BETTENCOURT



DRAWN: CHM CHECKED: JAB DATE: 2025.03.19

SHEET:
SITE PLAN

DRAWING NO.	REV.
250905 - V101	1

Ministry of Citizenship and Multiculturalism (MCM)

Archaeology Program Unit
Heritage Branch
Citizenship, Inclusion and Heritage Division
5th Floor, 400 University Ave.
Toronto ON M7A 2R9
Tel.: (705) 571-0035
Email: Teresa.Tremblay@ontario.ca

Ministère des Affaires civiques et du Multiculturalisme (MCM)

Unité des programme d'archéologie
Direction du patrimoine
Division de la citoyenneté, de l'inclusion et du patrimoine
5e étage, 400 ave. University
Toronto ON M7A 2R9
Tél. : (705) 571-0035
Email: Teresa.Tremblay@ontario.ca



May 21, 2024

Matthew Muttart (P1208)
Archaeological Consultants Canada
711 - 135 James Hamilton ON L8P 2Z6

RE: Entry into the Ontario Public Register of Archaeological Reports: Archaeological Assessment Report Entitled, "Stage 1 & 2 Archaeological Assessment Proposed Development 68 Hamilton Plank Road, Port Dover, Part of Lot 12, Concession 1, Woodhouse Township, Norfolk County, Ontario Original Report", Dated May 9, 2024, Filed with MCM on N/A, MCM Project Information Form Number P1208-0487-2024, MCM File Number 0021611

Dear Mr. Muttart:

The above-mentioned report, which has been submitted to this ministry as a condition of licensing in accordance with Part VI of the *Ontario Heritage Act*, R.S.O. 1990, c 0.18, has been entered into the Ontario Public Register of Archaeological Reports without technical review.¹

Please note that the ministry makes no representation or warranty as to the completeness, accuracy or quality of reports in the register.

Should you require further information, please do not hesitate to send your inquiry to Archaeology@Ontario.ca

cc. Archaeology Licensing Officer
Jenny Bettencourt, 68 Hamilton Plank
Andrew Wallace, Norfolk County

¹In no way will the ministry be liable for any harm, damages, costs, expenses, losses, claims or actions that may result: (a) if the Report(s) or its recommendations are discovered to be inaccurate, incomplete, misleading or fraudulent; or (b) from the issuance of this letter. Further measures may need to be taken in the event that additional artifacts or archaeological sites are identified or the Report(s) is otherwise found to be inaccurate, incomplete, misleading or fraudulent.

ANTECH

Design & Engineering Group

FUNCTIONAL SERVICING REPORT

PROJECT NAME:

Multi Residential Development

PROJECT ADDRESS:

9 Scott Drive, Port Dover, Ontario

PROJECT NO.

250905

DATE SUBMITTED

June 26, 2025

PROJECT ABSTRACT

Functional Servicing Report for the Proposed Stacked Townhouse Development. This document provides information on the site servicing for the proposed development, including details on sanitary service, water service, and fire flow calculations.

Project Summary

Project No.

250905

Client

Jenny Bettencourt

Client Contact

Jenny Bettencourt

Consultant Team

Andrew Butler, P.Eng.

Candice Micucci MCIP, RPP, OALA

Rabinder Bains, Student Planner

Property Address

9 Scott Drive

Port Dover, Ontario

Version	Date	Description
1.0	2025.06.26	Initial Release

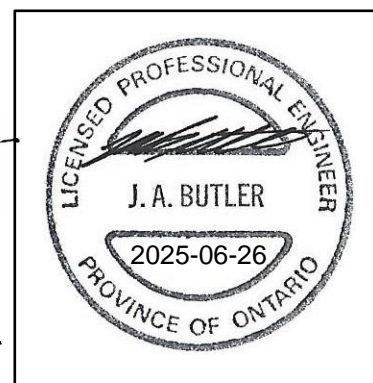
Signatures and Seals



Signature



Signature



Disclaimer

This project has been prepared solely for the client and project named on this title page. Antech Design and Engineering accepts no responsibility or liability for any damages arising from the use of this document for any project other than the project for which it was commissioned. Antech Design and Engineering accepts no responsibility or liability for the use of this document by any party other than the client named on this title page, along with the approval and commenting municipalities and agencies involved in the project. To the extent this report is based on information supplied by other parties, Antech Design and Engineering accepts no liability for any loss or damage suffered by the client stemming from any conclusions based on data supplied by those parties.

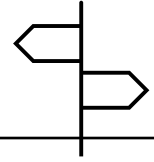
Contents

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Appendix B – Proposed Site Plan.....	Encl.
Appendix C – Proposed Preliminary Grading Plan	Encl.
Appendix D – Sanitary Services Design Sheets	Encl.
Appendix E – Water Services Design Sheets.....	Encl.
Appendix F – Fire Flow Calculations	Encl.

1.0 INTRODUCTION AND BACKGROUND



1.1 SCOPE

Antech Design & Engineering Group has been retained by Jenny Bettencourt to prepare a Functional Servicing Report to support the approval of a Zoning By-law Amendment and subsequent development for the proposed development at 9 Scott Drive in Port Dover, Ontario. The purpose of this report is to establish a conceptual framework for servicing the development, focusing on:

- Sanitary Sewage
- Water Supply both domestic and fire
- Storm Drainage

In preparing this report, Antech staff used available information from the topographic survey prepared by Jewitt and Dixon LTD. The topographic survey of the property illustrating the existing site conditions is included in Appendix A.

1.2 PROPOSED DEVELOPMENT

The proposed development encompasses the following key components:

- A Stacked Townhouse of 577.6 square meters
- Associated parking
- Integrative landscaping elements
- Municipal Servicing
- Entrance / Exit on Scott Drive

The site plan of the proposed development is included in Appendix B.

1.3 SITE DESCRIPTION

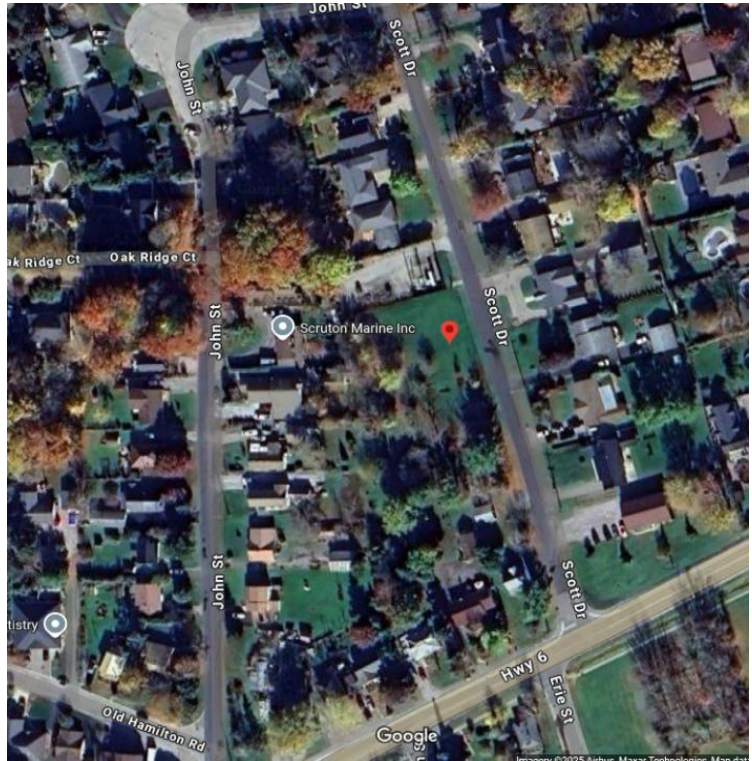
The subject property has a legal description of Lots 11 and 12, and Part of Lot 10, located in the geographic location of Port Dover, District of Norfolk County.

The subject property has a total lot area of 1,843.1 square meters with 45 meters of frontage on Scott Drive. The site is currently vacant.

The existing site topography is generally flat. The site has vegetation in the rear of the lot and a few trees on the east.

To the north of the property, there is a transformer station and single detached residential houses.

To the south of the property, there are single detached residential houses. Further south, there is access to Hamilton Plank Road (Highway 6).



To the east and west of the subject property are single detached residential houses.

The site is designated as Urban Residential in the Norfolk County Official Plan and is zoned Urban Residential Type 1 (R1-A) under the Norfolk County Zoning By-law. A Zoning By-law Amendment is proposed to change the designation to Urban Residential Type 4 Special (R4).

The existing conditions are shown in Appendix A: Existing Topographic Plan.

2.0 SANITARY SEWERS



2.1 EXISTING SANITARY SEWER SYSTEM

There is an existing sanitary sewer in Scott Drive as evident by the existing manholes and development in the street. Plan and Profile drawings have not been supplied by the County. The assumption we are

making is that the proposed lands have been included in the original sanitary design at minimum as single-family dwellings.

As part of the Building Permit process the municipality will be conducting water and sanitary modelling at the Owners expense to confirm.

2.2 SANITARY DEMAND

Sanitary demand for the proposed development is calculated based on the number of fixture units and is calculated as per Ontario Building Code (OBC) Section 7 Table 7.4.9.3., Minimum Permitted Size of Fixture Outlet Pipe and Hydraulic Loads for Fixtures and Table 7.4.10.8. Maximum Permitted Hydraulic Load Drained to a Horizontal Sanitary Drainage Pipe. Sanitary demand is also calculated using a population-based approach. Appendix D of this report contains the sanitary site services design calculation sheets.

As calculated per the OBC, a total of 130 fixture units are proposed. Based on this fixture unit count a 100mm (4") pipe would be sufficient at a minimum of a 1% slope. Using the population-based approach the proposed 100mm (4") diameter sanitary sewer at a minimum of a 1% slope is appropriate and provides a self-cleansing velocity greater than 0.6m/s.

2.3 POST DEVELOPMENT SANITARY SERVICING

The development is proposed to be constructed using a 100mm (4") sanitary service to the proposed building and dividing the single service internally.

2.4 WASTEWATER DESIGN FLOW

The wastewater design flow for the site is calculated based on the population-based approach. Supporting calculations are presented in Appendix D. Based on a site area of 0.184 ha, an equivalent population of 2.47 people per unit the total wastewater design flow was determined to be 0.3 L/s with a peak flow of 0.3 L/s

3.0 DOMESTIC AND FIRE WATER SUPPLY



3.1 EXISTING WATER CONDITIONS

There is a watermain in Scott Drive but we are unaware of the size. The assumption being made is that in the preliminary design of the watermain these lands were included, and the municipality has sufficient pressure. As part of the Building Permit process the municipality will be conducting water and sanitary modelling at the Owners expense to confirm.

3.2 DOMESTIC WATER DEMAND

Total peak water usage for the site was derived from the fixture unit count from OBC Table 7.6.3.2.A. and Table A7.6.3.1. as well as using a population-based method. See Appendix E for design calculations.

As per Table 7.6.3.2.A., 109 fixture units have been calculated for the proposed development. From Table A-7.6.3.1 a 38mm (1.5") to a 50mm (2") water service is required to service the proposed development using this calculation method.

The population-based approach calculates the following water demand:

Average day demand:	0.0001 m ³ /s	0.1 L/s
Max day demand:	0.0002 m ³ /s	0.2 L/s
Peak hourly demand:	0.0004 m ³ /s	0.4 L/s

To convey these peak flows without the risk of a pipe bursting due to surge pressures a minimum service size of 38mm (1.5") is required.

3.3 FIRE FLOW ESTIMATE

Calculating the fire flow estimate has been completed for the proposed development based on the site plan herein. The fire flow estimate is based on Water Supply for Public Fire Protection – 1999 issued by Fire Underwriters Survey.

The fire flow estimate is calculated from the following formula:

$$F = 220C\sqrt{A}$$

The fire flow calculation for the proposed development, rounded to the nearest 1,000 L/min for the stacked townhouse is 9,000 L/min for a 2.0 hour duration for the multi residential development.

The fire flow calculations can be found in Appendix F.

3.4 POST DEVELOPMENT WATER SERVICING

The proposed site water service is a 38mm (1.5") for domestic to be tied in from Scott Drive.

Fire fighting services are to be obtained from the existing fire hydrants on Scott Drive.

4.0 STORM DRAINAGE



4.1 EXISTING STORM SEWERS

There are existing ditches in Scott Drive that are for stormwater drainage. These existing ditches can be seen on the existing conditions plan and the preliminary grading plan included in Appendix C of this report.

4.2 STORM DRAINAGE DESIGN

The proposed grading plan contains preliminary designs to maintain the stormwater on site. With the use of the existing municipal ditches, swales and infiltration stormwater can be managed on site as well as utilizing the existing residential system. Note that the subject property has 32% lot coverage which is in conformity with general residential lot coverages.

4.3 POST DEVELOPMENT STORM DESIGN

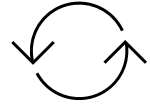
As per the preliminary grading plan in Appendix C stormwater can be managed by utilizing the existing ditches, infiltration and swales.

5.0 UTILITIES



Through preliminary investigation with the active utility agencies in the area, all required utilities are located within the right of way adjacent to the site. Based on the nature of the proposed development and estimated load demands, there is no indication of any issues with providing the necessary utility service for the development.

6.0 MAINTENANCE RECOMMENDATIONS



The maintenance of the site services is crucial to the functionality of the system. The following are the basic maintenance requirements:

1. Inspection of all on-site cleanouts, catch basins and manholes a minimum of once annually.
2. All cleanouts, manholes and valves shall always be kept clear and functioning.
3. No shut-off to be buried or landscaped in a way that makes it inaccessible.
4. Any structure that requires repair must be immediately repaired or replaced.
5. All sediment buildup to be removed four times annually once at the beginning of spring, once at the beginning of summer, once beginning of fall once before the first frost.
6. All areas of landscaping shall be maintained. Where grass or ground cover is required, these areas shall be kept-up.
7. All sediment disposal to be in accordance with MOE standards.

7.0 CONCLUSIONS



Based on the information contained within this report and its appendices, it is concluded that the proposed development can be constructed to meet the requirements of the Municipality.

In summary, the features of the design for the proposed development are as follows:

- Sanitary servicing can be provided by using the existing service in Scott Drive and shall be confirmed with municipal consultant prior to issuing a building permit.
- Domestic water servicing can be provided by using the existing service in Scott Drive and shall be confirmed by the municipal consultant completing the modeling prior to the issuance of a building permit.
- Fire servicing can be provided by using the existing fire hydrants
- Storm servicing can be provided using the existing municipal ditches and proposed infiltration and swales.
- The required utilities can be provided to service the site based on preliminary findings

We trust the enclosed information is satisfactory. Should you have any questions please do not hesitate to contact our office.

APPENDIX A

Existing Condition Plan

TOPGRAPHIC SITE PLAN
OF PART OF
LOTS 7, 8, 9, 10, 11 & 12
BLOCK 77
REGISTERED PLAN 207
TOWN OF PORT DOVER
IN
NORFOLK COUNTY
SCALE: 1 : 250

2.5 0 10 METRES

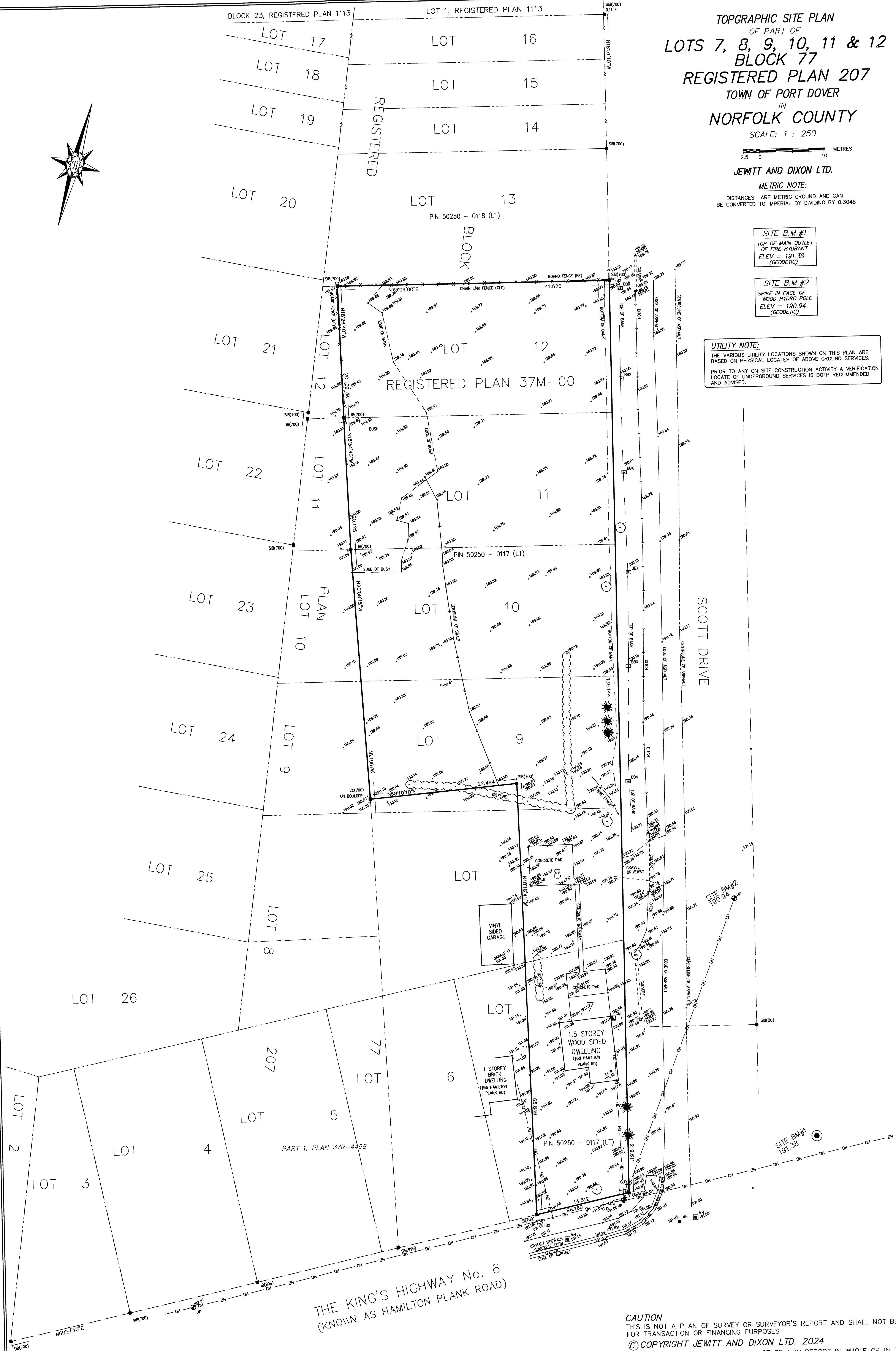
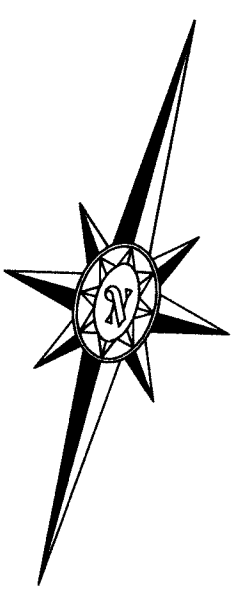
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METRIC NOTE:
DISTANCES ARE METRIC GROUND AND CAN
BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048

SITE B.M.#1
TOP OF MAIN OUTLET
OF FIRE HYDRANT
ELEV = 191.38
(GEODETIC)

SITE B.M.#2
SPIKE IN FACE OF
WOOD HYDRO POLE
ELEV = 190.94
(GEODETIC)

UTILITY NOTE:
THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE
BASED ON PHYSICAL LOCATES OF ABOVE GROUND SERVICES.
PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION
LOCATE OF UNDERGROUND SERVICES IS BOTH RECOMMENDED
AND ADVISED.



CAUTION
THIS IS NOT A PLAN OF SURVEY OR SURVEYOR'S REPORT AND SHALL NOT BE USED
FOR TRANSACTION OR FINANCING PURPOSES
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WITHOUT THE WRITTEN PERMISSION OF JEWITT AND DIXON LTD. IS STRICTLY PROHIBITED

LEGEND	
2.5cm X 2.5cm X 1.2m STANDARD IRON BARS	SHOWN - CM
1.6cm X 1.6cm X 0.6m IRON BARS	SHOWN - IB
1.6cm ROUND X 0.6m IRON BARS	SHOWN - IB Ø
DEED LINES	SHOWN - X
FENCE LINES	SHOWN - X
OVERHEAD LINES	SHOWN - OH
ROAD LINES	SHOWN - DH
FOUND IRON BARS	SHOWN - PLANTED IRON BARS SHOWN - CM

JEWITT AND DIXON LTD.
MINISTRY OF TRANSPORTATION
J. B. DODD, O.L.S.
WITNESS MONUMENT
ORIGIN UNKNOWN

BELL BOX/FIBRE BOX	SHOWN B/FBX
BENCH MARK	SHOWN BM
CATCH BASIN	SHOWN CB
TOP OF FOUNDATION	SHOWN TOF
OVERHEAD HYDRO LINE	SHOWN O/H
WATER VALVE	SHOWN WV
UTILITY POLE	SHOWN UP
GAS METER	SHOWN GM
MANHOLE	SHOWN MH

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ONTARIO LAND SURVEYORS
650 IRELAND ROAD
SIMCOE, ONTARIO, N3Y 4K2
PHONE: (519) 426-0842
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PLAN	J.L.M.
CHECK	K.H.
CLIENT	BETTENCOURT
24-4001-TOPO	

DATED: APRIL 3, 2024

JEWITT AND DIXON LTD.
FOR JEWITT & DIXON LTD.

APPENDIX B

Proposed Site Plan

SITE STATISTICS			
	ZONING REQUIREMENTS	PROPOSED ZONING REQUIREMENTS	PROPOSED SPECIAL ZONE
OFFICIAL PLAN CATEGORY	RESIDENTIAL	RESIDENTIAL	RESIDENTIAL
ZONING BY-LAW CATEGORY	R1- A	R4- STACKED TOWNHOUSE	R4- STACKED TOWNHOUSE SPECIAL
MINIMUM LOT AREA	----		1843.1m ²
MINIMUM LOT AREA	450m ²	195m ² - NO GARAGE	184.3m² - NO GARAGE - SPECIAL
MINIMUM LOT FRONTAGE	15.0m	30m	45m
LOT COVERAGE			577.6/1843.1= 31.4%
MAXIMUM BUILDING HEIGHT	11.0m	11.0m	11.0m
MINIMUM FRONT YARD SETBACK	6.0m	3.0m	3.0m
MINIMUM REAR YARD SETBACK	7.5m	7.5m	7.5m
MINIMUM INTERIOR SIDE YARD SETBACK	3.0m	3.0m	3.0m
MINIMUM INTERIOR SIDE YARD SETBACK	1.2m	3.0m	3.0m
PARKING	2 PER UNIT	2 PER UNIT	PROPOSE 1.4 SPECIAL
MAXIMUM NUMBER OF TOWNHOUSE UNITS	8	8 UNITS	10 UNITS - SPECIAL
PARKING AISLE WIDTH	7.3m	7.3m	6.0m - SPECIAL
SECTION 4.2.4		For tri-plex dwellings, duplex dwellings, four-plex dwellings, street townhouses, stacked townhouses, and boarding or lodging houses, required parking spaces shall be prohibited within the required front yard or required exterior side yard; except where a dwelling unit has a private garage in which case the driveway leading to the private garage may be used as a parking space subject to the size requirements herein;	



NOTES

1. ALL TOPOGRAPHIC & SERVICE INFORMATION COMPILED FROM SURVEY DATA COMPLETED BY JEWITT AND DIXON LTD.
2. THE LOCATION & SIZE OF ALL MAINS, CONDUITS, WATERMAINS, SEWERS & OTHER UNDERGROUND & ABOVE GROUND UTILITIES & STRUCTURES ARE NOT NECESSARILY SHOWN ON THE DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION & SIZE OF SUCH UTILITIES & STRUCTURES IS NOT GUARANTEED.
3. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES & STRUCTURES & SHALL ASSUME ALL LIABILITY FROM DAMAGE TO SAME.
4. NO PART OF ANY EXISTING BUILDING OR BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED OR DEMOLISHED (INCLUDING SITE SERVICING) UNLESS A BUILDING PERMIT HAS BEEN ISSUED BY THE CHIEF BUILDING OFFICIAL.
5. EXISTING ENTRANCED CURBS, MANHOLES AND CURBS & SIDEWALKS RESTORED AS REQUIRED.
6. ALL WORKS INVOLVED IN THE CONSTRUCTION, RELOCATION AND REPAIR OF MUNICIPAL SERVICES FOR THE PROPOSED DEVELOPMENT SHALL BE TO THE SATISFACTION OF THE CHIEF BUILDING OFFICER OF THE CITY OF VICTORIA.
7. STREET EXCAVATION PERMITS ARE REQUIRED FOR ANY WORK IN CITY RIGHT OF WAY BY ANY CONTRACTOR.
8. PRIVATE OWNER/DEVELOPER IS RESPONSIBLE FOR ALL EXISTING UTILITIES & STRUCTURES.
9. REMOVE CURBS/POUR NEW CURB FOR ANY NEW DRIVEWAYS OR DRIVEWAYS TO BE ABANDONED
10. STORM WATER DRAINAGE MUST NOT HAVE A NEGATIVE SLOPE TO ADJACENT PROPERTIES.
11. DRIVEWAY SLOPES MUST BE 4% MAXIMUM, AND SIDEWALK CROSS FALL 2% TO 4% MAXIMUM.

UNITS & CONVERSION

ALL DIMENSIONS IN **METRES**.
(CONVERT TO FEET: DIVIDE BY 0.3048)

BEARING NOTE

BEARINGS ARE GRID, DERIVED FROM SIMULTANEOUS GPS OBSERVATIONS ON MONUMENT A TO B SHOWN ON ORIGINAL PLAN HAVING A BEARING OF N60°51'10"E (UTM ZONE 17, (81° WEST LONGITUDE) NAD 83 (CSRS)(2010).

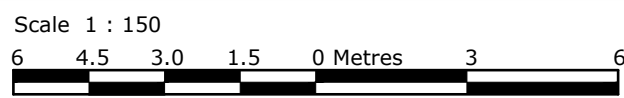
1	PRELIMINARY FOR ZBA	2025.06.26
0	INITIAL RELEASE	2025.03.19
REV.	DESCRIPTION	DATE

PROJECT

PROPOSED SITE PLAN OF
PART OF LOTS 7, 8, 9, 10, 11 & 12
BLOCK 77
REGISTERED PLAN 207
TOWN OF PORT DOVER
NORFOLK COUNTY

SCOTT DRIVE
PORT DOVER, ONTARIO

CITY FILE NO. NA



ANTECH
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CLIENT

JENNY BETTENCOURT



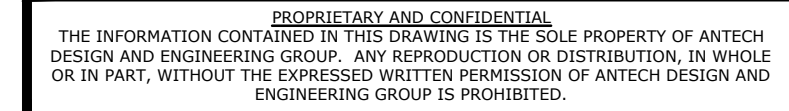
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SHEET:
SITE PLAN

DRAWING NO.	REV.
250905 - V101	1

APPENDIX C

Proposed Preliminary Grading Plan



NOTES

1. THESE PLANS ARE NOT FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY ENGINEER AND APPROVED BY THE LOCAL MUNICIPALITY.
2. THE CONTRACTOR'S & SERVICE PROVIDER'S OBLIGATION IS TO COMPLY FROM SURVEY DATA COMPLETED BY JEWITT AND DIXON LTD. THIS PLAN IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT.
3. THESE PLANS ARE TO BE USED FOR GRADING ONLY; ANY OTHER INFORMATION SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY. THESE PLANS MUST NOT BE USED TO SITE THE PROPOSED BUILDING.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST:
 - A. CHECK AND VERIFY ALL EXISTING CONDITIONS, LOCATIONS AND ELEVATIONS WHICH INCLUDED BUT IS NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SEWER CONNECTIONS AND EXISTING INVERTS. REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO PROCEEDING
 - B. OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES
 - C. VERIFY THAT THE FINISHED FLOOR ELEVATIONS AND / OR BASEMENT FLOOR ELEVATIONS (WHICHEVER MAY APPLY TO THE FACE OF THIS PLAN) COMPLY WITH THE FINAL ARCHITECTURAL DRAWINGS
 - D. CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE THE MOST RECENT REVISIONS
5. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR ANY DAMAGE AND / OR DISTURBANCE TO PROPERTY WITHIN THE MUNICIPAL RIGHT-OF-WAY TO THE LOCAL STANDARDS.
6. IF, FOR UNFORESEEN REASONS, THE OWNER AND/OR THEIR REPRESENTATIVE MUST ENCROACH ONTO PRIVATE LANDS TO UNDERTAKE ANY WORKS, THEY MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNERS PRIOR TO ENTERING THE ADJACENT PROPERTY. ANY SUCH PERMISSION MUST BE OBTAINED IN THE FORM OF A CONSENT MUST BE SUBMITTED TO INFRASTRUCTURE SERVICES - ENGINEERING DEVELOPMENT DIVISION, PRIOR TO ANY WORK BEING PERFORMED. FAILURE TO COMPLY WITH THE ABOVE IS AT THE PROPERTY OWNERS OWN RISK.
7. ALL WORK WITHIN THE MUNICIPAL OR REGIONAL RIGHT-OF-WAY MUST BE DEALT WITH AS A SCHEDULE 1 IN THE DEVELOPMENT AGREEMENT.
8. NO CHANGES ARE TO BE MADE WITHOUT THE APPROVAL OF THE ENGINEER.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC AND SAFETY MEASURES DURING THE CONSTRUCTION PERIODS INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNS, DELINEATORS, MARKERS AND BARRIERS. ALL SIGNS, ETC. SHALL CONFORM TO LOCAL STANDARDS OF THE MTO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

GRADES

1. ALL SITE GRADING AND ELEVATIONS OUTSIDE OF THE INDICATED AREA OF WORK TO REMAIN.
2. PROPOSED GRADES ARE REPRESENTED BY BOXED NUMBERS. EXISTING GRADES ARE NOT OUTLINED.
3. EXISTING GRADES HAVE BEEN COMPILED FROM SURVEY DATA. FIELD VERIFY AS REQUIRED.
4. EXISTING ENTRANCES NOT BEING UTILIZED TO BE DECOMMISSIONED AND MADE GOOD. SIDEWALKS AND CURBS TO BE RECONSTRUCTED TO MATCH EXISTING.
5. CURBSIDE SIDEWALK AT ACCESSIBLE PARKING SPACE AND AT EITHER END OF WALKWAY TO BE CONSTRUCTED IN ACCORDANCE WITH OBC STANDARDS.
6. THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO AVOID MIXING TOPSOIL WITH SUBSOIL, WHEN REQUIRED FOR REUSE ON THE SITE.

CURBS

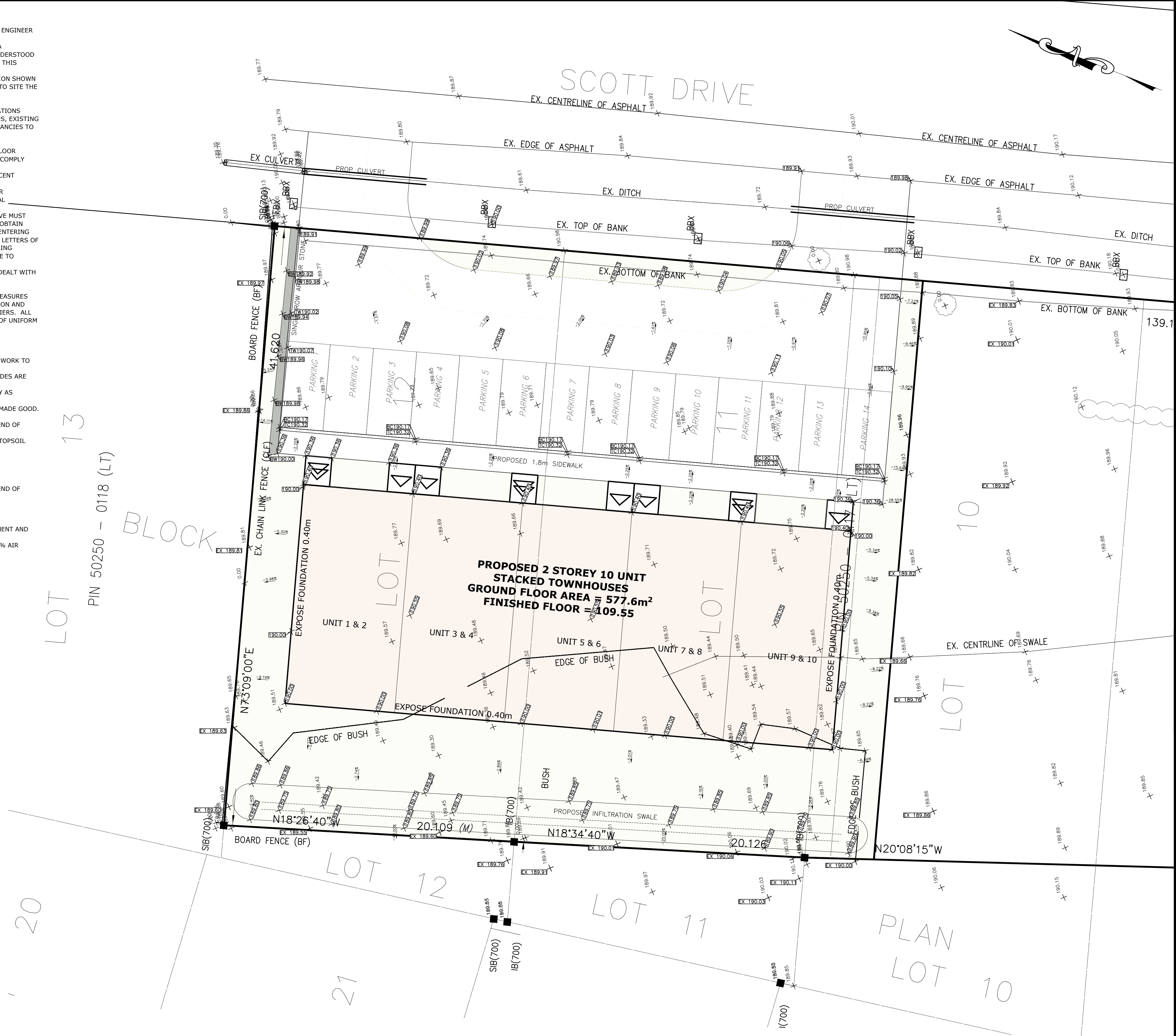
1. SIDEWALK AND CURBS TO BE RECONSTRUCTED TO BE AS PER THE PLAN.
2. CURB CUTS IN SIDEWALK AT ACCESSIBLE PARKING SPACE AND AT EITHER END OF WALKWAY TO BE CONSTRUCTED IN ACCORDANCE WITH OBC STANDARDS.

CONCRETE (SIDEWALKS & CURBS)

1. CONCRETE SIDEWALKS TO BE 32 MPA CONCRETE WITH 5-8% AIR ENTRAINMENT AND 150mm THICK.
2. ALL CONCRETE CURB TO BE CONSTRUCTED OF 32 MPA CONCRETE WITH 5-8% AIR ENTRAINMENT.

LOT STRIPING

1. ALL LOT STRIPING TO BE YELLOW REFLECTIVE TRAFFIC PAINT.



KEY PLAN

UNITS & CONVERSION

ALL DIMENSIONS IN METRES.
(CONVERT TO FEET: DIVIDE BY 0.3048)

BEARING NOTE

BEARINGS ARE GRID, DERIVED FROM SIMULTANEOUS GPS OBSERVATIONS ON MONUMENT A TO B SHOWN ON ORIGINAL PLAN HAVING A BEARING OF N60°51'10"E (UTM ZONE 17, (81° WEST LONGITUDE) NAD 83 (CSRS)(2010).

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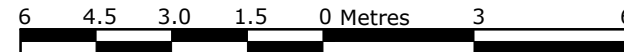
PROJECT

PROPOSED SITE PLAN OF
PART OF LOTS 7, 8, 9, 10, 11 & 12
BLOCK 77
REGISTERED PLAN 207
TOWN OF PORT DOVER
NORFOLK COUNTY

SCOTT DRIVE
PORT DOVER, ONTARIO

CITY FILE NO. NA

Scale 1 : 150

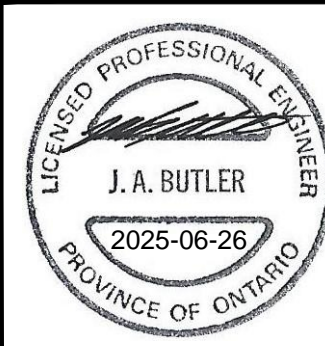


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CLIENT

JENNY BETTENCOURT



DRAWN:	CHECKED:	DATE:
CHM	JAB	2025.03.19

SHEET:
SITE GRADING
PLAN

DRAWING NO.	REV.
250905 - C102	1

APPENDIX D

Sanitary Service Design Sheets

Minimum Permitted Size of Fixture Outlet Pipe and Hydraulic Load for Fixtures

Project: 250905

Client: Jenny Bettencourt

Date: June 23, 2025

Property: 9 Scott Drive, Port Dover

Reference OBC table 7.4.9.3		Hydraulic Load		
		Waste		
Fixture or Device	<u>Outlet</u>	<u>Fixture</u>	<u>Quantity</u>	<u>Total</u>
	<u>Pipe</u>	<u>Units</u>		
Bathroom group with 6 LPF flush tank		6.00	15.00	90
Bathroom group with greater than 6 LPF flush tank		6.00		
Bathroom group with more than 3 fixtures	1.5"	1.50		
Bathroom sink	1.5"	3.00		
Bathtub with or without shower head	1.5"	1.50		
Bathtub with 3/4 in. spout	1.50	1.50		
Bedpan washer	3.0"	6.00		
Beer cabinet	1.5"	1.50		
Bidet	1.25"	1.00		
Chinese Range	1.5"	3.00		
Clothes washer, 3.5kg		1.50	10.00	15.00
Clothes washer, 6.8kg		2.00		
Clothes washer, commercial		2.00		
Cup sinks	1.25"	0.50		
Dental unit, cuspidor	1.25"	1.00		
Dishwasher, commercial	2"	3.00		
Dishwasher, domestic	1.5"	1.00	10.00	10.00
Drinking fountain or water cooler	1.25"	0.50		
Fish tank or tray	1.5"	1.50		
Floor drain	2"	2.00		
Floor drain	3"	3.00		
Floor drain, funnel	2"	3.00		
Garbage grinder, commercial type	2"	3.00		
Icebox	1.25"	1.00		
Laundry tray single or double	1.5"	1.50		
Lavatory, barber or beauty parlor	1.5"	1.50		
Lavatory, dental	1.25"	1.00		
Lavatory, domestic type single or 2 single with common trap	1.25"	1.00		
Lavatory, domestic type single or 2 single with common trap	1.5"	1.50		
Lavatory multiple or industrial type	1.5"	3.00		
Macerating Toilet System	0.75"	3.00		
Potato Peeler	2"	3.00		
Shower drain from 1 head	1.5"	1.50		
Shower drain from 2 or 3 heads	2"	3.00		
Shower drain from 4 to 6 heads	3"	6.00		

Reference OBC table 7.4.9.3		Hydraulic Load		
		Waste		
Fixture or Device	<u>Outlet</u>	<u>Fixture</u>	<u>Quantity</u>	<u>Total</u>
	<u>Pipe</u>	<u>Units</u>		
Sink, domestic or other small, single or double with common trap	1.5"	1.50	10.00	15.00
Sink, other	1.5"	3.00		
Urinal, pedestal, siphon jet or blowout type	2.00	4.00		
Urinal stall, washout type	2"	2.00		
Urinal wall washout type	1.5"	1.50		
Urinal wall other types	2"	3.00		
Water closet with flush tank	3"	4.00		
Water closet with direct flush	3"	6.00		
Total				130.00

Maximum Permitted Hydraulic Load Drained to a Horizontal Sanitary Drainage Pipe

Reference OBC table 7.4.10.8

Drain Size, Nominal in	Maximum Hydraulic Load, fixture units					
	Slope (ratio of rise over run)					
	1 in 400 0.25%	1 in 200 0.50%	1 in 133 0.75%	1 in 100 1%	1 in 50 2%	1 in 25 4%
3 (80mm)					27	36
4 (100mm)				180	240	300
5 (125mm)			380	390	480	670
6 (150mm)			600	700	840	1300
8 (200mm)		1400	1500	1600	2250	3370
10 (250mm)		2500	2700	3000	4500	6500
12 (300mm)	2240	3900	4500	5400	8300	13000
15 (380mm)	4800	7000	9300	10400	16300	22500

Sanitary Sewer Design Sheet

Project No.:250905

Project Address:9 Scott Drive, Port Dover

Date:June 23, 2025

Design Criteria		
Average Dry Weather Flow (Residentail)	245	L/cap/d
Average Dry Weather Flow (Employment)	270	L/cap/d
Mannings Roughness Coefficient (n)	0.013	
Harmon Peaking Factor (Me)	0.80(1+14/(4+pe^0.5))	
Extraneous Flow	0.30	L/ha/s
Trunk Sewer	Gravity Main	
Stacked Townhouse	10 Units	

Population Equivalents	
Low Density	3.05 ppu
Medium Density	2.47 ppu
High Density	1.60 ppu
Commercial	90 ppha
Institutional	40 ppha
Industrial	125 ppha

Location			Area				Peaking Factor	Pop Flow	Extraneou s Flow	Design Flow	Proposed Sewer						
			Individual		Cumulative						Length	Pipe Size	Type	Grade	Capacity	Full Flow Velocity 0.6 min	Actual Velocity
Street	From MH	TO MH	Pop*	Area (ha)	Pop	Area (ha)	M	Q(p) L/s	Q(i) L/s	Q(d) L/s	m	m		%	L/s	m/s	m/s
Building to Road	Building	Road	0.0247	0.184	0.0247	0.184	3.49	0.245	0.055	0.3000	27.68	0.100	PVC	1.0%	5.165	0.658	0.308

*Population in thousands

Flows calculated as per the City of

Design guidelines for sewage works . Toronto: Ontario, Ministry of the

0.299641377

Peak Flow $Q(d) = (Q_{DWF} * P / 86.4) * M + (I * A)$

- 245

3.49

0.025

0.300

0.184
- Q (d)

Q DWF

M

P

I

A
- Peak domestic sewage flow (including extraneous flows) in L/s

Per Capital Average Dry Weather

Harmon Peaking Factor

Popuation in thousands

Exteraneous Flow Allowance

Gross tributary area in hectares

APPENDIX E

Water Service Design Sheets

Fixture Unit Calculations

Project: 250905
Date: June 23, 2025

Client: Jenny Bettencourt
Property: 9 Scott Drive, Port Dover

<u>Hydraulic Load</u>									
Supply									
Fixture or Device	Supply Size	Fixture Units Private Use Hydraulic Load			Fixture Units Public Use Hydraulic Load			No.	Total
		Cold	Hot	Total	Cold	Hot	Total		
Bathroom group with 6 LPF flush tank	NA	2.7	1.5	3.6				15	54
Bathroom group, greater than 6 LPF flush tank	NA	4.00	3.00	6.00					
Bathroom group with more than 3 fixtures	-	-	-						
Bathtub with or without shower head	1/2"	1.00	1.00	1.40	3.00	3.00	4.00		
Bathtub with 3/4 in. spout	3/4"	7.50	7.50	10.00	7.50	7.50	10.00		
Bedpan washer	1"	-	-		7.50	7.50	10.00		
Bidet	3/8"	1.50	1.50	2.00					
Clothes washer, 3.5kg	1/2"	1.00	1.00	1.40	2.25	2.25	3.00	10	14.00
Clothes washer, 6.8kg	1/2"	-	-		3.00	3.00	4.00		
Clothes washer, commercial	-	-	-				6.00		
Dental lavatory	3/8"	-	-		1.50	1.50	2.00		
Dental unit, cuspidor	3/8"	-	-		1.00		1.00		
Dishwasher, commercial	-	-	-				4.00		
Dishwasher, domestic	3/8"	-	1.40	1.40				10	14.00
Drinking fountain or water cooler	3/8"	-			0.25		0.25		
Drinking, coffee machine	1/2"						4.00		
Drinking, ice machine	1"						10.00		
Drinking, iced capichanio machine	1/2"						4.00		
Hose bibb	1/2"	2.50		2.50	2.50		2.50	5	12.50
Hose Bibb	3/4"	3.00		3.00	6.00		6.00		
hose bibb, combination hot and cold	1/2"	1.90	1.90	2.50	1.90	1.90	2.50		
Lavatory, 8.3L/min or less	3/8"	0.50	0.50	0.70	1.50	1.50	2.00		
Lavatory, greater than 8.3L/min	3/8"	0.75	0.75	1.00	1.50	1.50	2.00		
Shower head, 9.5L/min or less per head	1/2"	1.00	1.00	1.40	3.00	3.00	4.00		
Shower head, greater than 9.5 L/min per head	1/2"	1.50	1.50	2.00	3.00	3.00	4.00		
Shower, spray, multi-head, fixture unit per head		1.00	1.00	1.40	3.00	3.00	4.00		
Sink, bar	3/8"	0.75	0.75	1.00	1.50	1.50	2.00		
Sink, clinic service faucet	1/2"				2.25	2.25	3.00		
Sink clinic with direct flush valve	1"				6.00		6.00		
Sink, wall mount eyewash station	1/2"						4.00		

Fixture Unit Calculations

Project: 250905
Date: June 23, 2025

Client: Jenny Bettencourt
Property: 9 Scott Drive, Port Dover

<u>Hydraulic Load</u>									
Supply								No.	Total
Fixture or Device	Supply Size	Fixture Units Private Use Hydraulic Load			Fixture Units Public Use Hydraulic Load				
		Cold	Hot	Total	Cold	Hot	Total		
Sink, kitchen, commercial, pr faucet	1/2"				3.00	3.00	4.00	10	14.00
Sink, kitchen, domestic, 8.3L/min or less	3/8"	1.00	1.00	1.40	1.00	1.00	1.40		
Sink, kitchen, domestic, greater than 8.3L/min	3/8"	1.50	1.50	2.00	1.50	1.50	2.00		
Sink, laboratory	3/8"				1.50	1.50	2.00		
Sink, laundry (1 or 2 compartments)	3/8"	1.00	1.00	1.40	1.00	1.00	1.40		
Sink, service or mop basin	1/2"				2.25	2.25	3.00		
Sink, washup, per facuet	1/2"				1.50	1.50	2.00		
Urinal, with direct flush	3/4"								
Urinal, with flush tank	3/8"	3.00		3.00	3.00		3.00		
Urinal, with self closing metering valve	1/2"	2.00		2.00	4.00		4.00		
Water closet, 6 LPF or less with Flush tank	3/8"	2.20		2.20	2.20		2.20		
Water closet, greater than 6 LPF with flush tank	3/8"	3.00		3.00	5.00		5.00		
Water closet, with direct flush valve	1"								
Water Expansion Tank	1.5"						4.00		
Water Softener	3/4"						6.00		
Total Fixture Units									109

Table A-7.6.3.2.1

Pipe Size Based on the Number of Fixtures Units Served ⁽¹⁾

Water Service. Inches	Water Distribution System. Inches															
		Maximum Allowable Length, m														
		12	18	24	30	46	61	76	91	122	152	183	213	244	274	305
Pressure Range		Number of Fixtures Units Served														
200 to 310 kPa (30 to 45 psi)																
3/4"	1/2"	6	5	4	3	2	1	1	1	0	0	0	0	0	0	0
3/4"	3/4"	18	16	14	12	9	6	5	5	4	4	3	2	2	2	1
3/4"	1"	29	25	23	21	17	15	13	12	10	9	7	6	6	6	6
1"	1"	36	31	27	25	20	17	15	13	12	10	8	6	6	6	6
1 1/2"	1 1/4"	90	68	57	48	38	32	28	25	21	18	15	12	12	11	11
1 1/2"	1 1/2"	151	124	105	91	70	57	49	45	36	31	26	23	21	20	20
2"	1 1/2"	151	151	132	110	80	64	53	46	38	32	27	23	21	20	20
2"	2"	359	329	292	265	217	185	164	147	124	96	70	61	57	54	51
2 1/2"	2 1/2"	445	418	390	370	330	300	280	265	240	220	198	175	158	143	133
311 to 413 kPa (46 to 60 psi)																
3/4"	1/2"	8	7	6	5	4	3	2	2	1	1	1	0	0	0	0
3/4"	3/4"	21	21	19	17	14	11	9	8	6	5	4	4	3	3	3
1"	1"	42	42	41	36	30	25	23	20	18	15	12	10	9	8	8
1 1/2"	1 1/4"	83	83	83	83	66	52	44	39	33	29	24	20	19	17	16
1 1/2"	1 1/2"	151	151	151	151	128	105	90	78	62	52	42	38	35	32	30
2"	1 1/2"	151	151	151	151	150	117	98	84	67	55	42	38	35	32	30
2"	2"	359	359	359	359	359	318	280	250	205	165	142	123	110	102	94
2 1/2"	2 1/2"	611	611	610	580	535	500	470	440	400	365	335	315	285	267	250
Over 413 kPa (60 psi)																
3/4"	1/2"	8	8	7	6	5	4	3	3	2	1	1	1	1	1	0
3/4"	3/4"	21	21	21	21	17	13	11	10	8	7	6	6	5	4	4
1"	1"	42	42	42	42	38	32	29	26	22	18	14	13	12	12	11
1 1/2"	1 1/4"	83	83	83	83	83	74	62	54	43	34	26	25	23	22	21
1 1/2"	1 1/2"	151	151	151	151	151	151	130	113	88	73	51	51	46	43	40
2"	1 1/2"	151	151	151	151	151	151	142	122	98	82	64	51	46	43	40
2"	2"	359	359	359	359	359	359	359	340	288	245	204	172	153	141	129
2 1/2"	2 1/2"	611	611	611	611	611	611	610	570	510	460	430	404	380	356	329

Minimum Permitted Size of Fixture Outlet Pipe and Hydraulic Load for Fixtures

Project: 250905

Client: Jenny Bettencourt

Date: June 23, 2025

Property: 9 Scott Drive, Port Dover

Number of Units

10 units

Water Demand Design Criteria

	Avg. Day Demand (L/cap/d)	Max. Day Factor	Peak Hour Factor
Residential	450	1.80	3.00
Light Commercial	270	1.80	3.00

*employment include ICI land uses

Equivalent Population Densities

Residential	Population Per Unit
Low Density	3.05
Medium Density	2.47
High Density	1.60
Commercial	Eq. Population Density - Persons Per
Light Commercial	90
Institutional	40
Light industrial	125

Population Equivalent

25 persons

			m3/s
Q_{ADD}	$Q_{ADD} \times \text{Site Area}$	11115 L/day	0.0001
Q_{MDD}	$Q_{MDD} \times \text{Site Area}$	20007 L/day	0.0002
Q_{PHD}	$Q_{PHD} \times \text{Site Area}$	33345 L/day	0.0004
Fire Flow		9,000 L/min	0.1500
	$Q(pdh) + \text{Fireflow}$		0.1504

Surge Pressure

Long term hydrostatic design basis pvc pipe specs lpex technical Information for surge pressures in piping systems	4000 psi	27579 kPa
Short-term hydrostatic design basis pvc pipe specs lpex technical Information for surge pressures in piping systems	6400 psi	44126 kPa

Minimum Permitted Size of Fixture Outlet Pipe and Hydraulic Load for Fixtures

Project: 250905 **Client:** Jenny Bettencourt
Date: June 23, 2025 **Property:** 9 Scott Drive, Port Dover

DR Dimension Ratio	Pressure Surge, Ps		Long-term Pressure Rating		Short-term Pressure Rating		Allowable Surge Pressure		Max Velocity	
	psi	kPa	psi	kPa	psi	kPa	psi	kPa	ft/s	m/s
14	19.8	137	307.7	2121.5	393.8	2715.4	86.2	594.0	4.35	1.3215
18	17.4	120	235.3	1622.3	301.2	2076.5	65.9	454.2	3.79	1.1537
21	16	110	200.0	1379.0	256.0	1765.0	56.0	386.1	3.50	1.0698
25	14.7	101	166.7	1149.1	213.3	1470.9	46.7	321.7	3.17	0.971
26	14.4	99	160.0	1103.2	204.8	1412.0	44.8	308.9	3.11	0.951
32.5	12.8	88	127.0	875.5	162.5	1120.7	35.6	245.1	2.78	0.8491
41	11.4	79	100.0	689.5	128.0	882.5	28.0	193.0	2.46	0.7448
51	10.8	74	80.0	551.6	102.4	706.0	22.4	154.4	2.07	0.6361

Adapted from table 5-6 pvc pressure surge versus dr for 1 ft/sec (0.3 m/sec) instantaneous flow velocity change, from the AWWA Manual M23

DR	Pressure Surge,		100 psi max.		Short-term		Allowable Surge		max velocity	
	psi	kPa	psi	kPa	psi	kPa	psi	kPa	ft/s	m/s
14	19.8	137	100.0	689.0	393.8	2715.4	293.8	2026.4	14.84	4.5085
18	17.4	120	100.0	689.0	301.2	2076.5	201.2	1387.5	11.56	3.5243
21	16	110	100.0	689.0	256.0	1765.0	156.0	1076.0	9.75	2.9816
25	14.7	101	100.0	689.0	213.3	1470.9	113.3	781.9	7.71	2.3595
26	14.4	99	100.0	689.0	204.8	1412.0	104.8	723.0	7.28	2.2261
32.5	12.8	88	100.0	689.0	162.5	1120.7	62.5	431.7	4.89	1.4951
41	11.4	79	100.0	689.0	128.0	882.5	28.0	193.5	2.46	0.7466
51	10.8	74	100.0	689.0	102.4	706.0	2.4	17.0	0.22	0.0701

Velocities (Q/A) m/s										
Pipe Diameter (mm)										
Q (L/s)	25	38	50	100	150	200	250	300	400	
Max. Daily Demand	0.232	0.472	0.204	0.118	0.029	0.013	0.007	0.005	0.003	0.002
Peak Hourly Demand	0.386	0.786	0.340	0.197	0.049	0.022	0.012	0.008	0.005	0.003
Fire Flow Demand	150.000	305.577	132.262	76.394	19.099	8.488	4.775	3.056	2.122	1.194
Building Code	5.500	11.205	4.850	2.801	0.700	0.311	0.175	0.112	0.078	0.044

APPENDIX F

Fire Flow Estimate Design Sheet

Fire Flow Estimates

Project: 250905
Date: June 23, 2025

Client: Jenny Bettencourt
Property: 9 Scott Drive, Port Dover

BLD-A

$$F = 220C(A^{0.5})$$

Determine the type of construction

C (coefficient related to type of construction)

- 1.5 Wood Frame Construction
- 1 Ordinary Construction
- 0.8 Non-combustible Construction
- 0.5 Fire Resistive Construction

C =	1
-----	---

Determine the ground floor area

A (total floor area (m²))

A =	1155.2
-----	--------

Determine the required fire flow to the nearest 1,000L/min

1. Base F (liters per minute)

F1 =	7000
------	------

Determine the increase or decrease by up to 25% given the combustibility of the contents of the building.

2. E (Contents Occupancy Modifier)

- 25% Non-combustible Contents
- 15% Limited Combustible Contents
- 0% Combustible
- 15% Free Burning
- 25% Rapid Burning

O =	-25%
-----	------

E = 5250

Determine the decrease, if any, for automatic sprinkler protection.

Maximum reduction is 30%.

3. FS (Sprinkler Modifier)

- 50% Fully automatic and supervised sprinkler system
- 30% Sprinkler system designed to NFPA 13

S =	0%
-----	----

FS = 0

Determine the total increase for exposures

4. G (Exposure Correction Allowance)

	Exposure (m)	% Correction
North	3.5	20%
South	3.5	20%
East	37.6	5%
West	7.5	20%

E = 65%

G = 3413

Ftotal = 9,000 L/min

Water Supply for Public Fire Protection			
Required Duration of Fire Flow			
Fire Flow Required (litres per minute)		Duration (hours)	
2000 or less		1.00	
3000		1.25	
4000		1.50	
5000		1.75	
6000		2.00	
8000		2.00	
10000		2.00	
12000		2.50	
14000		3.00	
16000		3.50	
18000		4.00	
20000		4.50	
22000		5.00	
24000		5.50	
26000		6.00	
28000		6.50	
30000		7.00	
32000		7.50	
34000		8.00	
36000		8.50	
38000		9.00	
40000 and over		9.50	



ACC

ARCHAEOLOGICAL
CONSULTANTS CANADA

Stage 1 & 2 Archaeological Assessment

Proposed Development

68 Hamilton Plank Road, Port Dover, Part of Lot 12, Concession 1, Woodhouse
Township, Norfolk County, Ontario

Original Report

Prepared for:

Ontario Ministry of Citizenship and Multiculturalism

Prepared by:

Archaeological Licensee: Matthew Muttart, M.A., P1208

Archaeological Consultants Canada

PO Box 81045 Ancaster, RPO Fiddlers Green

Hamilton, ON L9G 4X1

PIF#: P1208-0487-2024

Project No. 230-12-24

9 May 2024

EXECUTIVE SUMMARY

Archaeological Consultants Canada (“ACC”) was contracted by the Proponent to conduct a Stage 1 & 2 archaeological assessment as part of a proposed development. An archaeological assessment was required as part of the pre-approval process for future development under the *Planning Act, R.S.O. 1990*. The area of assessment, or the “subject property”, is located at 68 Hamilton Plank Road, Port Dover, Part of Lot 12, Concession 1, Woodhouse Township, Norfolk County, Ontario. The subject property measures 0.44 hectares (“ha”) in size. MCM assigned Project Information Form (“PIF”) number P1208-0487-2024 to this project. The property was accessed on May 8, 2024.

Stage 1 background research indicated that the subject property has general archaeological potential due to the following factors:

- The subject property is fronted by an early historical transportation route, Hamilton Plank Road (Tremaine, 1856; H. R. Page, 1877).
- Black Creek is located approximately 200 m north of the subject property.
- Eighteen archaeological sites have been registered within 1 km of the subject property.

A visual property inspection determined that areas of low to no archaeological potential include 0.06 ha of land that had been previously disturbed for construction of structures, and a driveway.

The remainder of the subject property, 0.38 ha, was determined to retain archaeological potential and require Stage 2 assessment. As these lands consisted of manicured lawn and trees, the Stage 2 assessment was conducted by test pit survey at 5 m intervals.

No artifacts or other archaeological resources were identified during the Stage 2 property assessment.

The following recommendation is provided for consideration by the Proponent and by the MCM:

1. No artifacts or other archaeological resources were identified during the Stage 2 archaeological assessment. The subject property has now been fully assessed according to the Ontario Ministry of Citizenship and Multiculturalism’s 2011 *Standards and Guidelines for Consultant Archaeologists*. No further archaeological assessment of the property is required.

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5. Aerial Imagery Showing the Current Land Use of the Subject Property
6. Aerial Imagery Showing the Results of the Stage 1 & 2 Archaeological Assessment of the Subject Property, with Image Locations and Directions



PROJECT PERSONNEL

Project Manager:	Matthew Muttart, M.A., P1208
Professional License:	Matthew Muttart, M.A., P1208
Field Director:	Matthew Muttart, M.A., P1208
Field Technicians:	Donny Vongphakdy, B.Sc
Report Preparation:	Brianne McDonald, B.A.
Graphics:	Brianne McDonald, B.A.



Stage 1 & 2 Archaeological Assessment

Proposed Development

68 Hamilton Plank Road, Port Dover, Part Of Lot 12, Concession 1,
Woodhouse Township, Norfolk County, Ontario

1.0 PROJECT CONTEXT

1.1 Development Context

Archaeological Consultants Canada (“ACC”) was contracted by the Proponent to conduct a Stage 1 & 2 archaeological assessment as part of a proposed development. An archaeological assessment was required as part of the pre-approval process for future development under the *Planning Act, R.S.O. 1990*. The area of assessment, or the “subject property”, is located at 68 Hamilton Plank Road, Port Dover, Part of Lot 12, Concession 1, Woodhouse Township, Norfolk County, Ontario. The subject property measures 0.44 hectares (“ha”) in size (Figure 1).

The objective of a Stage 1 background study is to provide information about the subject property’s geography, history, previous archaeological fieldwork, and current land conditions. A Stage 1 study evaluates the subject property’s archaeological potential in order to recommend appropriate strategies for the Stage 2 survey.

The objective of a Stage 2 property assessment is to document all archaeological resources present on the property and to make a determination about whether these resources, if present, have cultural heritage value or interest. Archaeological resources consist of artifacts (Indigenous stone tools, pottery and subsistence remains as well as Euro-Canadian objects), subsurface settlement patterns and cultural features (post moulds, trash pits, privies, and wells), and sites (temporary camps and special purpose activity areas, plus more permanent settlements such as villages, homesteads, grist mills and industrial structures). If any archaeological resources are present that exhibit Cultural Heritage Value or Interest, a Stage 2 survey will determine whether these resources require further assessment and, if necessary, recommend appropriate Stage 3 strategies for identified archaeological sites.

The Stage 1 & 2 assessment was conducted under Professional Archaeological License P1208, held by Matthew Muttart, who also directed the fieldwork. The Ontario Ministry of Citizenship and Multiculturalism (“MCM”) assigned Project Information Form (“PIF”) number P1208-0487-2024 (Stage 1 & 2) to this project. The licensee of ACC received permission from the Proponent to access the property and to conduct all required archaeological fieldwork activities including the removal of artifacts, as necessary. The property was accessed on May 8, 2024.

All fieldwork and reporting were completed using MCM’s 2011 *Standards and Guidelines for Consultant Archaeologists*. This report documents the research, the field methods and results, and the conclusions and recommendations based on the Stage 1 & 2 archaeological assessment.

All documents and records related to this project will be curated at the offices of ACC, in accordance with subsection 66(1) of the *Ontario Heritage Act*.

1.2 Historical Context

1.2.1 Background Research

Stage 1 background research was conducted to determine the potential for finding and identifying archaeological resources including sites within the current subject property and to determine the necessity of conducting a Stage 2 survey. This is done by reviewing geographic, archaeological, and historical data for the property and the surrounding area. The background research was conducted to:

- amass all the readily available information on any previous archaeological surveys in the area.
- determine the locations of any registered and unregistered sites within and around the subject property.
- develop an historical framework for assigning levels of potential significance to any new sites discovered during fieldwork.

1.2.2 A Cultural Chronology for Southern Ontario

Over their thousands of years of occupation in the general region, Indigenous peoples have left behind, to a greater or lesser degree, physical evidence of their lifeway activities and settlements at many locations. Based upon a published synthesis of Indigenous cultural occupations (Wright, 1968). Table 1 is a general outline of the cultural history of southern Ontario that is applicable to the subject property. Ellis and Ferris (1990) provide greater detail of the distinctive characteristics of each time period and cultural group.

It is likely that Ontario was occupied soon after the retreat of the Ice Age glaciers. The earliest known human occupation in the area was during the Paleoindian period (between 12,000 and 9,500 years ago) wherein small groups of nomadic peoples hunted big game such as caribou in a cool sub-arctic climate. Sites are typically found near glacial features such as the shorelines of glacial lakes or kettle ponds which would have allowed access to the low-lying environments that were favoured by the caribou and other wildlife. These people were few and their small, temporary campsites are relatively rare. Paleoindian sites are recognized by the presence of distinctive artifacts such as fluted projectile points, beaked scrapers, and graters and by the preference for light colored cherts, such as Collingwood chert. The Paleoindian Period is divided into two sub-periods, Early Paleoindian, and Late Paleoindian.

People during the Archaic period (*circa* 10,000 to 500 years ago) were still primarily nomadic hunters, but they adapted to a more temperate climate. Groups were dispersed during winter months and converged around watercourses from the spring to fall in large fishing campsites. The Archaic period is characterized by the appearance of ground stone tools, notched, or stemmed projectile points. The Archaic Period is divided into three sub-periods, Early, Middle,



and Late Archaic. During the Archaic Period, groups began to establish territorial settlements and introduce burial ceremonialism. There is a marked increase in the number and size of sites, especially during the Late Archaic period.

Table 1: General Cultural Chronology for Southern Ontario

PERIOD	SUBDIVISION I	SUBDIVISION II	YEARS BEFORE PRESENT	COMMENTS
PALEOINDIAN	Early Paleoindian	Fluted Point Horizon	12,000-10,500	big game hunters
	Late Paleoindian	Holcombe & Hi-Lo Horizons	10,500-9,500	small nomadic groups
ARCHAIC	Early Archaic	Side Notched Horizon	10,000-9,700	nomadic hunters and gatherers
		Corner-Notched Horizon	9,700-8,900	
		Bifurcate Horizon	8,900-8,000	
	Middle Archaic	Middle Archaic I/Stemmed Horizon	8,000-5,500	territorial settlements
		Middle Archaic II	5,500-4,500	polished ground stone tools
	Late Archaic	Narrow Point Horizon	4,500-3,500	
		Broad Point Horizon	4,000-3,500	
		Small Point Horizon (including Haldimand and Glacial Kame Complexes)	3,500-2,800	burial ceremonialism
WOODLAND	Early Woodland	Meadowood Complex	2,900-2,400	introduction of pottery
		Middlesex Complex	2,500-2,000	
	Middle Woodland	SW Ontario: Saugeen	2,300-1,500	long distance trade networks
		Western Basin: Couture	2,300-1,500	
	Transitional Woodland	SW Ontario:		
		Princess Point	1,500/1,400-1,200	incipient agriculture
		Western Basin:		
		Riviere au Vase	1500/1400-1200/1100	
	Late Woodland: Ontario Iroquois Tradition	Early: Glen Meyer	1200/100-750/700	transition to village life
		Middle I: Uren	720/700-710/670	large villages with palisades
		Middle II: Middleport	710/670-670/600	wide distribution of ceramic styles
		Late: Neutral	600-450	
	Late Woodland: Western Basin Tradition	Younge Phase	1200/1100-800	
		Springwells Phase	800-600	
		Wolf Phase	600-450	
HISTORIC	SW Ontario Iroquois	Historic Neutral	450-350	tribal warfare
	European Contact	Initial Contact	380-300	tribal displacement
		European Settlement	200 >	European settlement
		First Nations Resettlement	200 >	

(Compiled from Adams, 1994, Ellis *et al.*, 1990, Wright, 1968)

The Woodland period is distinguished by the introduction of pottery vessels for storage and cooking. Sites of the Woodland period (*circa* 3000 to 400 years ago) are usually the most numerous because the population levels in southern Ontario had significantly increased, especially along the shores of Lakes Erie and Ontario. The Woodland Period is also marked by



the establishment of complex long distance trading networks. The Woodland Period is divided into three sub-periods, Early, Middle and Late Woodland. During the Late Woodland Period, there is increasing sedentarism and the establishment of horticulture, a reliance on tribal warfare, and the introduction of semi-permanent villages with large protective palisades. The Late Woodland period also envelops the emergence of Iroquoian tribes and confederacies.

The historic period (from A.D. 1650 to 1900) begins with the arrival of Euro-Canadian groups. While North America had been visited by Europeans on an increasing scale since the end of the fifteenth century, it was not until the voyages of Jacques Cartier in the 1530s that Europeans visited Ontario Iroquoians in their home territories. Sites of this period document European exploration, trade, and the displacement and devastation of native groups caused by warfare and infectious disease. The most common sites of this period include Euro-Canadian homesteads, industries, churches, schools, and cemeteries.

During pre-contact and early contact times, the vicinity of the subject property would have contained a mixture of deciduous trees, coniferous trees, and open areas. In the early nineteenth century, Euro-Canadian settlers arrived via easily accessible colonization routes from York and began to clear the forests for agricultural purposes. In the nineteenth and early twentieth centuries, the subject property and surrounding land were primarily used for agricultural purposes. Mixed farming was common, with wheat crops and beef cattle dominating the landscape (Chapman and Putnam, 1984:177).

The subject property was historically located within Part of Lot 12 Concession 1, in the Geographic Township of Woodhouse, Norfolk County. The first European to venture into what would become southern Ontario was Étienne Brûlé who was sent by Samuel de Champlain in the summer of 1610 to consolidate an emerging friendship between the French and the First Nations, and to learn their languages and customs. Other Europeans would subsequently be sent by the French to train as interpreters. These men played an essential role in communications with the First Nations (Gervais, 2004:182).

The late 17th and early 18th centuries saw the growth and spread of the fur trade, with the establishment and maintenance of trading posts along the Great Lakes. In 1754, hostilities over trade and the territorial ambitions of the French and the British led to the Seven Years' War, which ended when the French surrendered in 1760 (Smith, 1987:22). In addition to cementing British control over the Province of Quebec, the British victory over the French also proved pivotal in catalyzing the Euro-Canadian settlement process.

In 1791, the provinces of Lower Canada and Upper Canada were created from the former province of Quebec by a British parliamentary act. Colonel John Graves Simcoe was appointed as the Lieutenant Governor of Upper Canada and was tasked with governing and directing its settlement, as well as establishing a constitutional government based on Britain's model (Coyne et al, 1895:33).

European settlement in Norfolk County began as early as 1790 when settlers began to move into the area as they awaited official surveys and granting of land patents around Long Point (Tasker 1900:46). Lieutenant Governor Simcoe wished to build a military base at Long Point in 1794,

but the plan was rejected by Lord Dorchester, the Governor of Upper and Lower Canada. In response, Simcoe halted land grants to the area, banned settlement in the area and evicted settlers who were already established in Long Point Pay (Tasker, 1900:45). By 1795, the land grants were reopened, and a number of grist mills and sawmills were constructed.

Norfolk County was first settled in 1789 by United Empire Loyalists emigrating from the United States after the American Revolutionary War (Carter, 1984). The county itself was created in 1792 by Lieutenant-Governor John Graves Simcoe, who named it after Norfolk County, England (Mika & Mika, 1984). The population of Norfolk County was 9,626 in 1841. Early settlers in the county were primarily of Dutch, British and German descent, who settled in the county to take advantage of the rich soils (Mutrie, 2004). By 1844, a total of 56,899 acres were being cultivated, and there were 50 sawmills and 10 grist mills in operation (Smith 1846:186).

The first Europeans to the Woodhouse, Port Dover area were two French Sulpician Missionaries; Francois Dollier de Carsson and Rene de Brehant de Galinee, they arrived in modern Port Dover from Montreal via the Great Lakes in October of 1669, they camped near the fork of Lynn River, along Black Creek. On March 23rd they erected a cross with the Royal Arms and claimed the land for the French king, three days before they continued their journey north to Sault Ste. Marie (Jefferys, 1942).

Woodhouse township most likely was named after Woodhouse in Lincolnshire, England; differing from the rest of the townships of Norfolk County who generally got their names from areas in Norfolk, England (Rayburn, 1997). By 1846 Woodhouse township is described as a well settled township, with the major areas of settlement listed as the town of Simcoe and the villages of port dover, and Port Ryerse (Smith, 1846). Of importance through the township was the plank road from Hamilton to Port Dover, connecting inland settlements to Lake Erie. By 1846 the township boasted three grist mills and eleven sawmills were in the township by 1846 (Smith, 1846).

The subject property is located within the current town limits of Port Dover, and within 450 m of the historic town limits as such a brief history of the town is provided. The original survey of the village was supervised by Governor Simcoe himself in 1795 (Middleton, 1927). Early settlers to the area were generally United Empire Loyalists. The area known as Dover Mills, after the English port of Dover, began with a mill and dam along the Lynn River (Mika and Mika, 1983). The port played an important role during the war of 1812 as a supply centre. Because of this the American forces burnt it down in 1814. After the war people rebuilt their homes closer to the water. It was decided a village would need to be surveyed in anticipation of growth from opening of the Erie and Welland Canal in 1825-1830 (Mika and Mika, 1983). As anticipated a new wave of settlement occurred around the harbour, mostly of Irish immigrants. The construction of the Hamilton Port Dover Plank Road increased the export of lumber and grain from inland. From 1870 through to the turn of the century Port Dover experienced a decline as a transportation export hub. There was a decline in the lumber industry and in exporting of grains. The area began to rely on the fishing industry, both in the export of fish and in boat making. Port Dover was incorporated as a village in 1879 (Mika and Mika, 1983).

Historical records and mapping were examined for evidence of early Euro-Canadian occupation within and near the subject property. Figures 3 and 4 represent the Euro-Canadian settlement in and around the current subject property in the late 19th century. Tremaine's 1856 *Map of the County of Norfolk, Canada West* lists R. Nicholl as the owner for the subject property at that time. The historic limits of the village of Port Dover is approximately 446 m west of the subject property (Figure 3). The subject property fronts the Hamilton Port Dover Plank Road, an important early transportation route. No structures are depicted within the subject property; however, a railway is depicted running through the south portion of the subject property.

H. R. Page & Co.'s 1877 *Illustrated Historical Atlas of the County of Norfolk* indicates that a Kerr and Brown Gillespie are the owners of the subject property at that time. There are no structures depicted on the subject property, the historic road remains in the same location. The historic limits of the village of Port Dover is approximately 363 m west of the subject property (Figure 4). The railway is now depicted approximately 184 m north of the subject property. Upper Mill Pond is again illustrated to the north of the subject property.

While there are no structures illustrated within the subject property on the historical atlas mapping, this does not necessarily mean that one or more additional structures were not present at that time, earlier or later. Not all features of interest were mapped systematically on the Ontario series of historical maps and atlases, given that they were financed by subscription, and subscribers were given preference regarding the level of detail provided on the maps (Caston, 1977:100). Given that the subject property fronts an important historic road there is the potential for 19th century buildings to be present, depending on the level of disturbance.

1.3 Archaeological Context

1.3.1 Natural Environment

The subject property is located within the Haldimand Clay Plain physiographic region (Chapman and Putnam, 1984:113). Lying between the Niagara Escarpment and Lake Erie, this area is made up of a series of parallel belts that were once submerged in Lake Warren. The highest ground adjoins the Niagara Escarpment. The main part of Welland County is characterized by level topography and poor drainage and several square miles are covered in peat bogs. The drainage in the belt is controlled by several parallel streams, such as Twenty Mile Creek, Forty Mile Creek, and the Welland River (Chapman and Putman, 1984:157).

The *Soils of the Regional Municipality of Haldimand-Norfolk* (Presant and Acton, 1984) indicates that dominant surface soil type within the subject property (Figure 6). The soil consists of 15 to 40 cm of sandy textures over lacustrine silt clay. This soil has imperfect to poor drainage.

Water has been identified as the major determinant of site selection and the presence of potable water is the single most important resource necessary for any extended human occupation or settlement. Primary water sources include, among others, lakes, rivers, creeks, and streams. Secondary water sources include intermittent streams, creeks, springs, marshes, and swamps. Past water sources, such as raised beach ridges, relic water channels, and glacial shorelines are

also considered to have archaeological potential. Swamps and marshes are also important as resource extraction areas, and any resource areas are considered to have archaeological potential. The nearest water source is Black Creek approximately 200 m north of the subject property, located along the northern boundary of the subject property. Lynn River is approximately 394 m west of the subject property and Lake Erie is approximately 467 south east of the subject property.

1.3.2 Current Land Use

Figure 5 shows the current land use of the subject property. The subject property is a residential property consisting mostly of manicured lawn with a house, shed and driveway. The subject property is located within a residential area of Port Dover. Hamilton Plank Road is located directly south, and Scott Drive is located directly east.

Fieldwork for the project was completed on May 8, 2024.

1.3.3 Previous Archaeological Investigations

1.3.3.1 Registered Archaeological Sites

Previously registered archaeological sites can be used to indicate archaeological potential. To determine if any previous assessments have yielded archaeological sites, either within or surrounding the current subject property, two main sources were consulted. These include the *Ontario Archaeological Sites Database* (“OASD”) and the *Public Register of Archaeological Reports*, both of which are maintained by MCM.

The OASD contains archaeological sites registered within the Borden system (Borden, 1952). The Borden system divides Canada into 13 km by 18.5 km blocks based on longitude and latitude. Each Borden block is designated with a four-letter label and sites identified within the block are numbered sequentially as they are registered. The subject property is located within the AeHb Borden block.

According to the OASD, no archaeological sites have been registered within the subject property, however, 18 sites have been registered within 1 km of the subject property (MCM, 2024a). One is Euro-Canadian or has a Euro-Canadian component. Sixteen are Indigenous or have an Indigenous component. One site is of unknown cultural affiliation. Sites include campsites, homesteads, and scatters. The absence of registered sites may reflect a lack of systematic survey in the area rather than an indication of cultural occupation.

Table 2 lists the sites within 1 km along with the current Cultural Heritage Value or Interest (“CHVI”) for each site. CHVI is a term used by MCM and consultant archaeologists to describe archaeological resources that meet one or more criteria that recommend further fieldwork in MCM’s *Standards and Guidelines for Consultant Archaeologists*. Under the *Ontario Heritage Act* and its regulations, archaeological resources that have been determined to possess CHVI are protected as archaeological sites under Section 48 of the act. Information in Table 2 is provided by MCM through the OASD (MCM, 2024a).

Table 2: Registered Archaeological Sites within 1 km of the Subject Property

BORDEN #	NAME	TIME PERIOD	CULTURAL AFFILIATION	SITE TYPE	STATUS
AeHb-61	Silver Lake 12	Pre- Contact	Indigenous	Othercamp/campsite	Unknown
AeHb-60	Silver Lake 11	Pre- Contact	Indigenous	Othercamp/campsite	Unknown
AeHb-59	Silver Lake 10	Pre- Contact	Indigenous	Othercamp/campsite	Unknown
AeHb-58	Silver Lake 9	Pre- Contact	Indigenous	Othercamp/campsite	Unknown
AeHb-57		Pre- Contact	Indigenous	Othercamp/campsite	Unknown
AeHb-56	Silver Lake 6	Pre- Contact	Indigenous	Othercamp/campsite	Unknown
AeHb-55	Silver Lake 5	Archaic, Late, Pre- Contact	Indigenous	Othercamp/campsite	Unknown
AeHb-54	Silver Lake 4	Pre- Contact	Indigenous	Othercamp/campsite	Unknown
AeHb-53	Silver Lake 3	Pre- Contact	Indigenous	Othercamp/campsite	Unknown
AeHb-52	Silver Lake 2	Pre- Contact	Indigenous	Othercamp/campsite	Unknown
AeHb-51	Silver Lake 1	Pre- Contact	Indigenous	Othercamp/campsite	Unknown
AeHb-32	Vallee	Pre-Contact	Indigenous	Unknown	Unknown
AeHb-22	Nordix 3	Pre- Contact	Indigenous	Othercamp/campsite	Unknown
AeHb-21	Nordix 2	Post- Contact	Euro-Canadian	homestead	Unknown
AeHb-20	Nordix 1	Archaic, Late	Indigenous	Othercamp/campsite	Unknown
AeHb-121	Birch 1	Archaic, Middle	Indigenous	scatter	Further CHVI
AeHb-107	Mahaffy	Archaic, Late, Woodland			Unknown
AeHb-106	Graham				Unknown

Information concerning specific site locations is protected by provincial policy and is not fully subject to the *Freedom of Information Act*. The release of such information in the past has led to looting or various forms of illegally conducted site destruction. Confidentiality extends to all media capable of conveying location, including maps, drawings, or textual descriptions of a site location. MCM will provide information concerning site location to the party or an agent of the party holding title to a property, or to a licensed archaeologist with relevant cultural resource management interests.

1.3.3.2 Previous Archaeological Reports

A review of archaeological reports within the *Public Register of Archaeological Reports* indicated that there is no archaeological report detailing previous archaeological fieldwork within the subject property. There were no additional reports detailing fieldwork within 50 m of the subject property filed with the MCM at the time this report was written. Reports were searched based on registered site information, historic lots and concessions, and nearby streets.

1.3.4 Potential for Archaeological Resources

Archaeological potential is defined as the likelihood of finding archaeological sites within a subject area. For planning purposes, determining archaeological potential provides a preliminary indication that significant sites might be found within the subject area, and consequently, that it may be necessary to allocate time and resources for archaeological survey and mitigation.



The framework for assigning levels of potential archaeological significance is drawn from provincial guidelines found in the *Standards and Guidelines for Consultant Archaeologists* (MCM, 2011: Sections 1.3.1 and 1.3.2). The following are features or characteristics that can indicate archaeological potential:

- previously identified archaeological sites
- water sources (It is important to distinguish types of water and shoreline, and to distinguish natural from artificial water sources, as these features affect site locations and types to varying degrees.).
 - primary water sources (e.g., lakes, rivers, streams, creeks)
 - secondary water sources (e.g., intermittent streams and creeks, springs, marshes, swamps)
 - features indicating past water sources (e.g., glacial lake shorelines indicated by the presence of raised sand or gravel beach ridges, relic river or stream channels indicated by clear dip or swale in the topography, shorelines of drained lakes or marshes, cobble beaches)
 - accessible or inaccessible shoreline (e.g., high bluffs, swamp or marsh fields by the edge of a lake, sandbars stretching into marsh)
- elevated topography (e.g., eskers, drumlins, large knolls, plateaus)
- pockets of well-drained sandy soil, especially near areas of heavy soil or rocky ground
- distinctive land formation that might have been special or spiritual places, such as waterfalls, rock outcrops, caverns, mounds, and promontories and their bases. There may be physical indicators of their use, such as burials, structures, offerings, rock paintings or carvings.
- resource areas, including:
 - food or medicinal plants (e.g., migratory routes, spawning areas, prairie)
 - scarce raw materials (e.g., quartz, copper, ochre or outcrops of chert)
 - early Euro-Canadian industry (e.g., fur trade, logging, prospecting, mining)
- areas of early Euro-Canadian settlement. These include places of early military or pioneer settlement (e.g., pioneer homesteads, isolated cabins, farmstead complexes), early wharf or dock complexes, pioneer churches and cemeteries. There may be commemorative markers of their history, such as local provincial, or federal monuments or heritage parks
- early historical transportation routes (e.g., trails, passes, roads, railways, portages)



- property listed on a municipal register or designated under the *Ontario Heritage Act* or that is in a federal, provincial, or municipal historic landmark site
- property that local histories or informants have identified with possible archaeological sites, historical events, activities, or occupations

Archaeological potential can be determined not to be present for either the entire property or parts of it when the area under consideration has been subject to extensive and deep land alterations that have severely damaged the integrity of any archaeological resources. This is commonly referred to as “disturbed” or “disturbance” and may include:

- quarrying
- major landscaping involving grading below topsoil
- building footprints
- sewage and infrastructure development
- activities such as agricultural cultivation, gardening, minor grading, and landscaping do not necessarily affect archaeological potential.

Several factors can be used to assess the potential for recovery of Euro-Canadian archaeological resources on a property. The subject property is comprised of land that is suitable for human habitation and agriculture. According to 1856 and 1877 historical maps the subject property fronted Hamilton Plank Road, an early historical transportation route. There is one registered site of Euro- Canadian cultural affiliation within 1 km of the subject property.

Several factors can be used to assess the potential for recovery of Indigenous archaeological resources on a property. The subject property is comprised of land that is suitable for human habitation. Lynne River is located approximately 394 m west, while Black Creek is located approximately 200 m north of the subject property. There are sixteen registered sites of Indigenous cultural affiliation located within 1 km of the subject property.

Given the above, background archival research indicates that the subject property exhibits general archaeological potential for the discovery of Euro-Canadian and Indigenous archaeological resources and, therefore, Stage 2 archaeological assessment is recommended for the subject property.



2.0 FIELD METHODS

The subject property measures 0.44 ha. A Stage 1 visual inspection and Stage 2 property assessment were conducted concurrently on May 8, 2024, with advance permission to enter the subject property obtained from the Proponent. Weather conditions during the assessment consisted of overcast skies with a maximum daily temperature of 21 degrees Celsius.

The Stage 1 assessment of the subject property began with an on-site property inspection to gain first-hand knowledge of the geography, topography, and current condition of the property. The entirety of the subject property was accessible and was inspected. Appropriate photographic documentation was taken during the visual inspection. Coverage of the property was sufficient to identify the presence or absence of features of archaeological potential, meeting the requirements of Section 1.2 Standard 1 of the *Standards and Guidelines for Consultant Archaeologists*.

Areas of low to no archaeological potential include lands that have been previously disturbed, lands that have steeply sloping topography, and lands that are low-lying and permanently wet. No areas of low-lying and permanently wet or steeply sloping topography were observed. 0.06 ha, 13.63 per cent of the subject property, has been previously disturbed by intensive and extensive modern soil alterations, including for construction of a residential home with an outbuilding and a driveway.

The remainder of the subject property, totaling 0.38 ha or 86.36 per cent, retained archaeological potential and was recommended for Stage 2 archaeological assessment. The study area consists of manicured lawn with trees that required Stage 2 assessment by test pit survey. Ploughing of these areas is not possible due to trees and heavy vegetation meeting the requirements of Section 2.1.2 1a/e of the *Standards and Guidelines for Consultant Archaeologists*, that ploughing or cultivation is not viable. The woodlots were subjected to test pit excavation by hand at 5 m intervals. Each test pit was 30 centimetres in diameter and was dug to at least five centimetres into the subsoil. Test pits were examined for stratigraphy, cultural features, or evidence of fill.

The test pit survey was conducted to within 1 m of all disturbances. Some soil disturbance was observed in the lawn area to the east of the existing residence; however, 5 m survey intervals were maintained throughout the assessment. Appropriate photographic documentation was taken, and all test pits were backfilled upon completion. As no artifacts were observed during the test pit assessment no intensified survey was conducted.

There were no weather, ground, or lighting conditions detrimental to the recovery of artifacts. As such, it is confirmed that the assessment met Section 1.2 Standard 2 and Section 2.1 Standard 3 of the *Standards and Guidelines for Consultant Archaeologists* regarding weather and lighting.

The entirety of the subject property was assessed. The results of Stage 1 & 2 assessment are shown in Figures 6. Images of the assessment are shown in Section 8.0.

3.0 RECORD OF FINDS

3.1 Soils

Test pits contained approximately 28 to 34 cm of medium brown sandy clay topsoil above yellow brown sandy clay subsoil. Some soil disturbance was observed in test pits excavated to the east of the existing residence; however, test pit survey was still conducted at 5 m intervals to ensure full survey coverage.

3.2 Archaeological Resources

No artifacts or other archaeological resources were observed during the Stage 1 & 2 assessment of the subject property.

3.3 Documentary Record

All fieldwork-related activities were documented and kept, including field notes and observations and detailed maps. Appropriate photographic records were kept of the assessment and all image descriptions were recorded in a photo log.

A detailed list of field records is presented in Table 3. All digital items have been duplicated and all paper items have been scanned and stored as digital documents. All items are housed in the corporate offices of ACC.

Under Section 6 of Regulation 881 of the *Ontario Heritage Act*, ACC will keep in safekeeping all objects of archaeological significance that are found under the authority of the license and all field records that are made in the course of the work authorized by the license, except where the objects and records are donated to His Majesty the King in right of Ontario or are directed to be deposited in a public institution under subsection 66 (1) of the Act.

Table 3: Inventory of Documentary and Material Records

PROJECT INFORMATION		
ACC project number	230 -12-24	
Licensee	Matthew Muttart	
MCM PIF number	P1208-0487 -2024	
DOCUMENT/MATERIAL	NUMBER	DESCRIPTION
field notes & photo logs	1	pages (paper, with digital copies)
maps	1	aerial imagery of the subject property
photos	6	digital format



4.0 ANALYSIS AND CONCLUSIONS

Stage 1 background research indicated that the subject property has general archaeological potential due to the following factors:

- The subject property is fronted by an early historical transportation route, Hamilton Plank Road (Tremaine, 1856; H. R. Page, 1877).
- Black Creek is located approximately 200 m north of the subject property.
- Eighteen archaeological sites have been registered within 1 km of the subject property.

A visual property inspection determined that areas of low to no archaeological potential include 0.06 ha of land that had been previously disturbed during construction of structures, and a driveway.

The remainder of the subject property, 0.38 ha, was determined to retain archaeological potential and require Stage 2 assessment. As these lands consisted of manicured lawn and trees, the Stage 2 assessment was conducted by test pit survey at 5 m intervals.

No artifacts or other archaeological resources were identified during the Stage 2 property assessment. According to the *Standards and Guidelines for Consultant Archaeologists* (MCM, 2011), the subject property has now been completely assessed and does not require any additional fieldwork.



5.0 RECOMMENDATIONS

Subject to acceptance of the results and approval of the recommendations, MCM is requested to deem this report compliant with ministry requirements for archaeological fieldwork and reporting and to issue a letter accepting this report into the *Ontario Public Register of Archaeological Reports*.

The following recommendation is provided for consideration by the Proponent and by the MCM:

1. No artifacts or other archaeological resources were identified during the Stage 2 archaeological assessment. The subject property has now been fully assessed according to the Ontario Ministry of Citizenship and Multiculturalism's 2011 *Standards and Guidelines for Consultant Archaeologists*. No further archaeological assessment of the property is required.

6.0 ADVICE ON COMPLIANCE WITH LEGISLATION

The following advice on compliance with current legislation is provided for consideration:

- a. This report is submitted to the Minister of Citizenship and Multiculturalism as a condition of licensing in accordance with Part IV of the *Ontario Heritage Act*, R.S.O. 2005, c O.18. The report is reviewed to ensure that it complies with the standards and guidelines that are issued by the Minister, and that the archaeological fieldwork and report recommendations ensure the conservation, protection, and preservation of the cultural heritage of Ontario. When all matters relating to archaeological sites within the project area of a development proposal have been addressed to the satisfaction of the Ministry of Citizenship and Multiculturalism, a letter will be issued by the ministry stating that there are no further concerns with regard to alterations to archaeological sites by the proposed development.
- b. It is an offence under Sections 48 and 69 of the *Ontario Heritage Act* for any party other than a licensed archaeologist to make any alteration to a known archaeological site or to remove any artifact or other physical evidence of past human use or activity from the site, until such a time as a licensed archaeologist has completed archaeological fieldwork on the site, submitted a report to the Minister stating that the site has no further cultural heritage value or interest, and the report has been filed in the Ontario Public Register of Archaeological Reports referred to in Section 65.1 of the *Ontario Heritage Act*.
- c. Should previously undocumented archaeological resources be discovered, they may be a new archaeological site and therefore subject to Section 48 (1) of the *Ontario Heritage Act*. The proponent or person discovering the archaeological resources must cease alteration of the site immediately and engage a licensed consultant archaeologist to carry out archaeological fieldwork, in compliance with Section 48 (1) of the *Ontario Heritage Act*.
- d. The *Funeral, Burial and Cremation Services Act*, 2002, S.O. 2002, c.33 requires that any person discovering human remains must notify the local police or coroner and the Registrar, Burials Unit, at the Ministry of Public and Business Service Delivery.
- e. It is an offence to destroy or alter an archaeological site without approval from the Ministry of Citizenship and Multiculturalism. Archaeological sites recommended for further archaeological fieldwork or protection remain subject to Section 48(1) of the *Ontario Heritage Act* and may not be altered, or have artifacts removed from them, except by a person holding an archaeological license.



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ESRI

2022 World Topographic map

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8.0 IMAGES





Image 1: Subject property, facing north



Image 2: Subject property, facing southwest



Image 3: Subject property, facing southeast



Image 4: Subject property, facing northeast



Image 5: Subject property, facing east



Image 6: Typical test pit

9.0 FIGURES



Figure 1: Location of the Subject Property on a 1:50,000 Scale Topographic Map

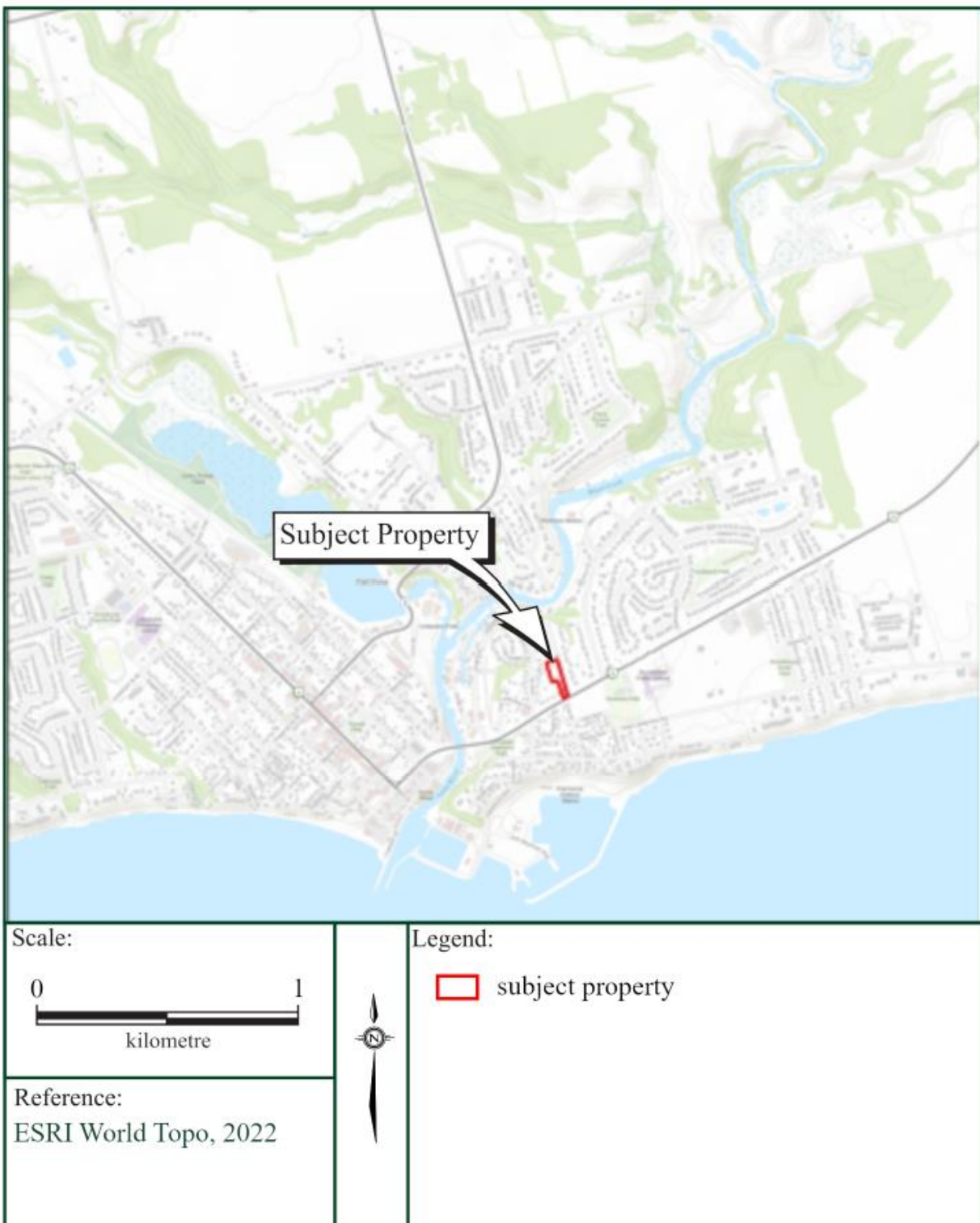


Figure 2: Location of the Subject Property on Tremaine's 1856 Map of the County of Norfolk, Canada West

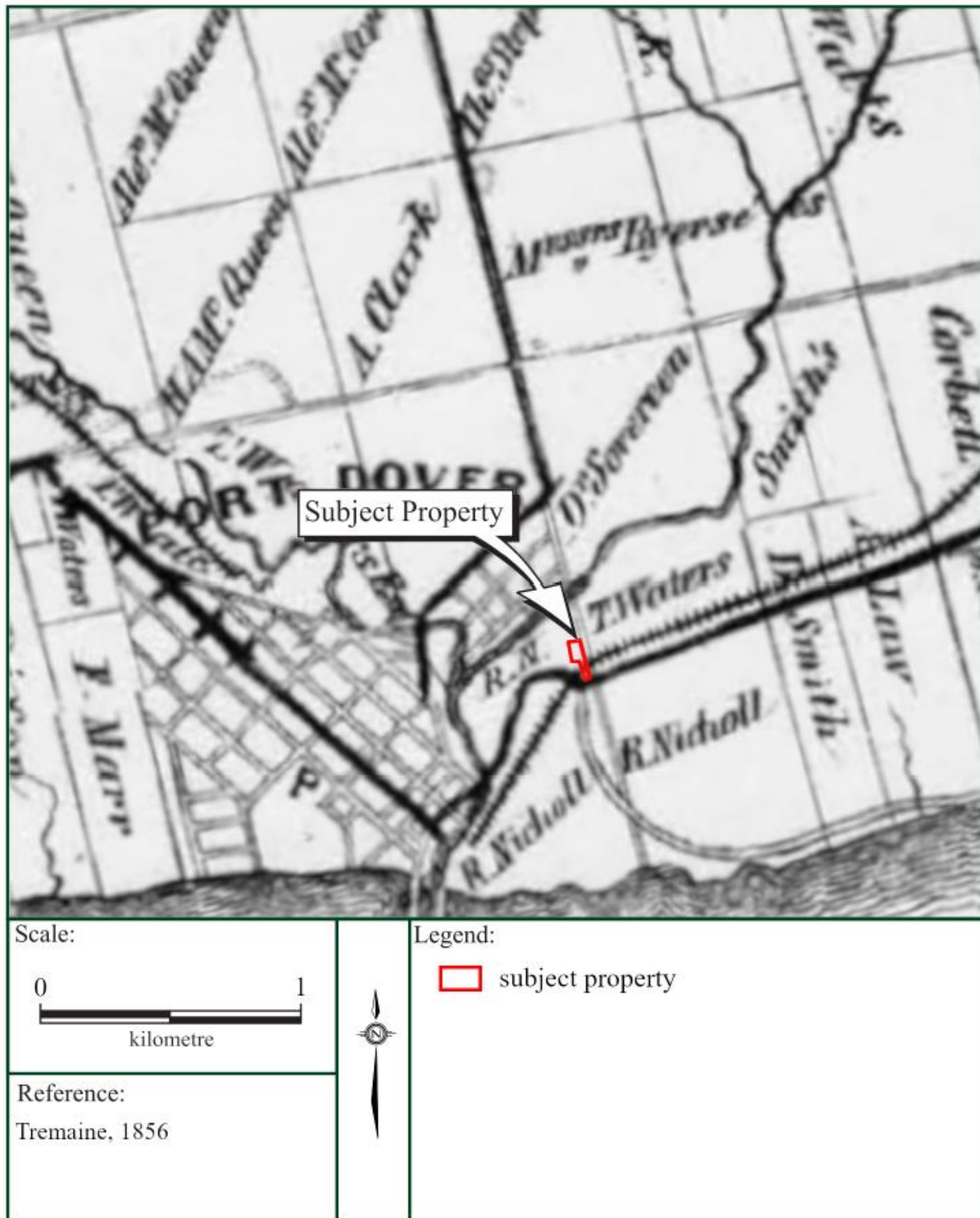


Figure 4: Location of the Subject Property on a Map of the Soils of Haldimand-Norfolk Regional Municipality

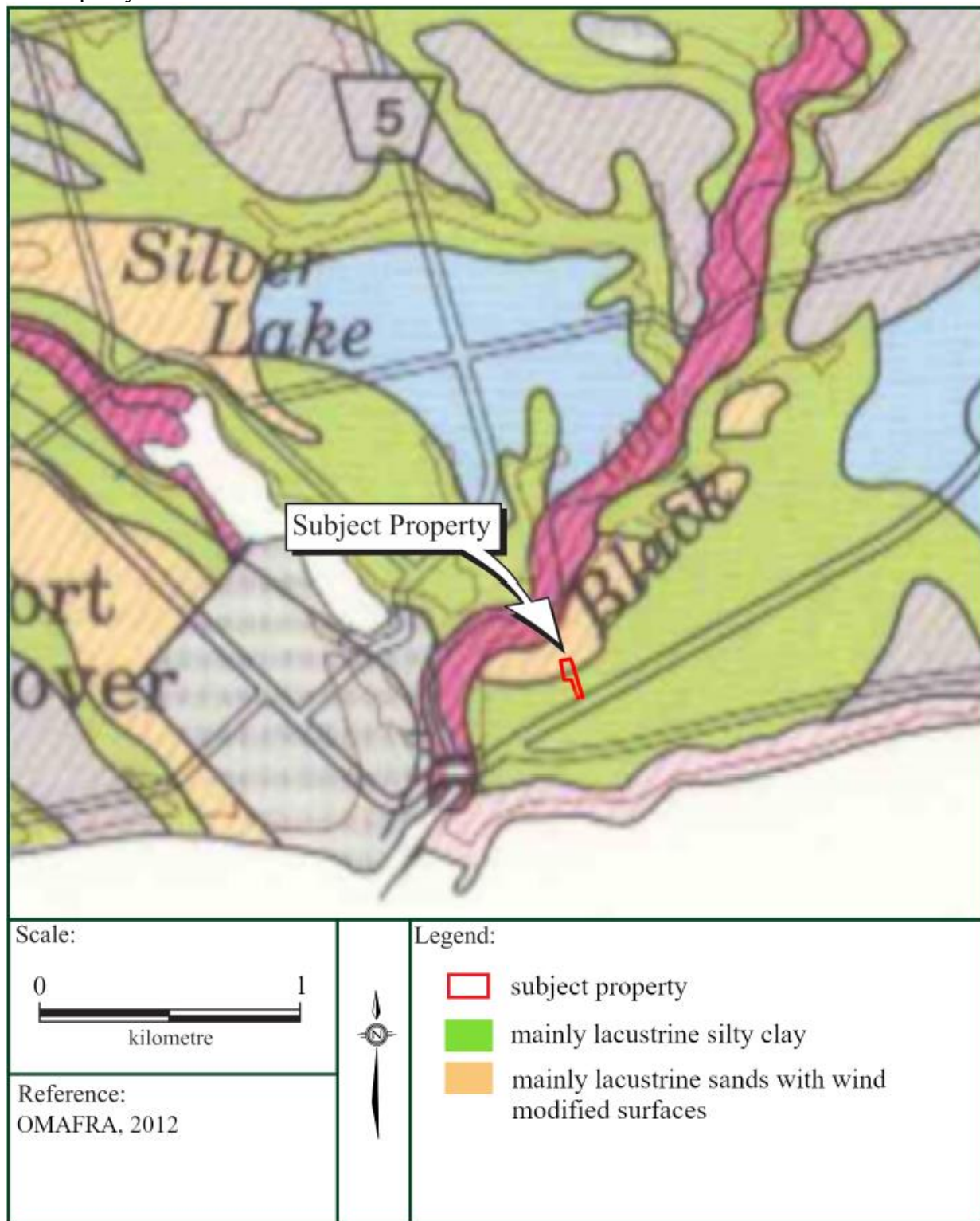


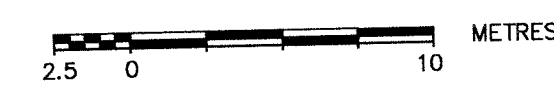
Figure 5: Aerial Imagery Showing the Current Land Use of the Subject Property



Figure 6: Aerial Imagery Showing the Results of the Stage 1 & 2 Archaeological Assessment of the Subject Property, with Image Locations and Directions



TOPGRAPHIC SITE PLAN
OF PART OF
LOTS 7, 8, 9, 10, 11 & 12
BLOCK 77
REGISTERED PLAN 207
TOWN OF PORT DOVER
IN
NORFOLK COUNTY
SCALE: 1 : 250



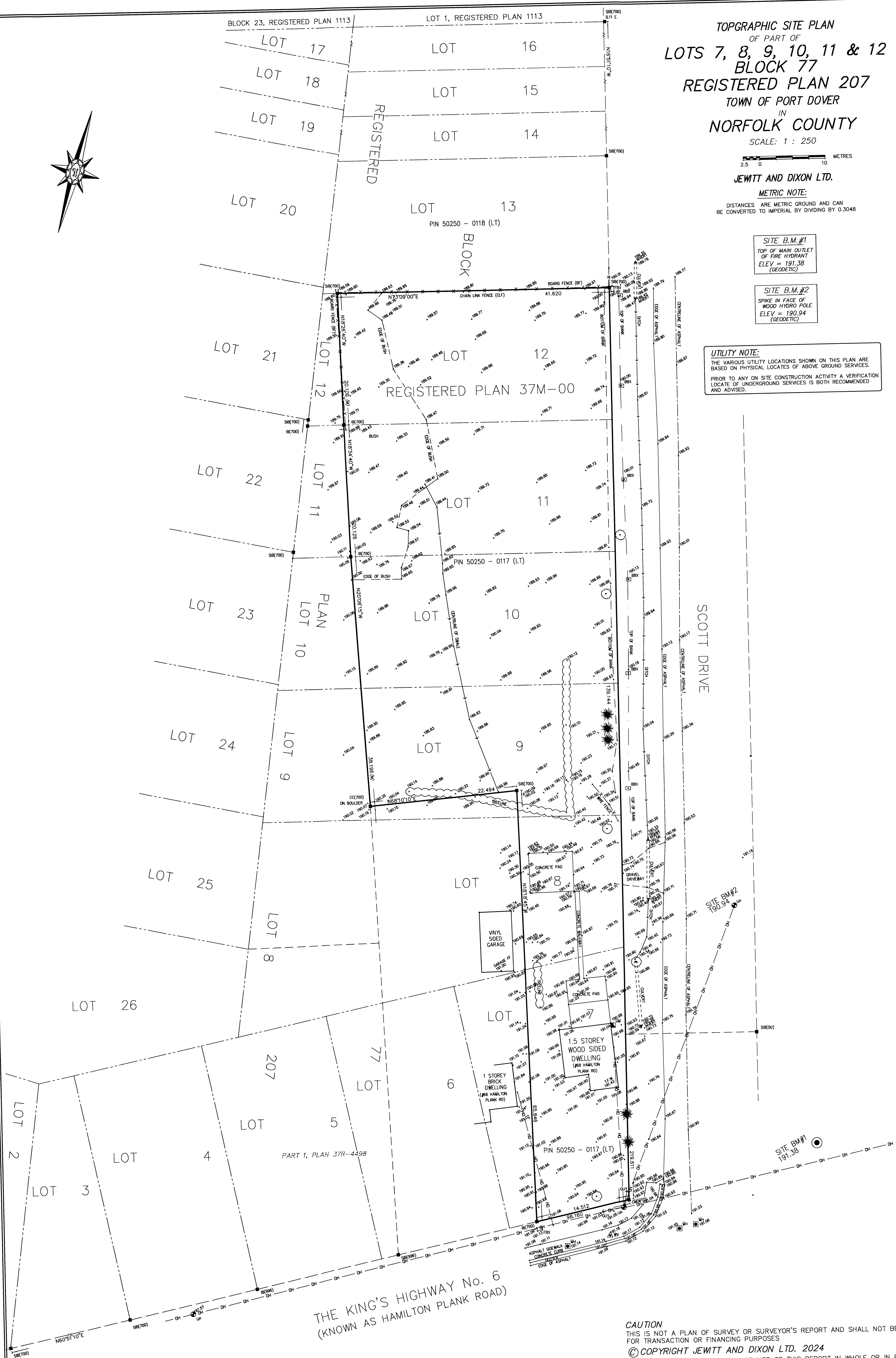
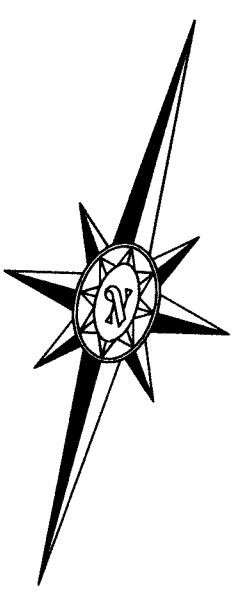
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METRIC NOTE:
DISTANCES ARE METRIC GROUND AND CAN
BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048

SITE B.M.#1
TOP OF MAIN OUTLET
OF FIRE HYDRANT
ELEV = 191.38
(GEODETIC)

SITE B.M.#2
SPIKE IN FACE OF
WOOD HYDRO POLE
ELEV = 190.94
(GEODETIC)

UTILITY NOTE:
THE VARIOUS UTILITY LOCATIONS SHOWN ON THIS PLAN ARE
BASED ON PHYSICAL LOCATES OF ABOVE GROUND SERVICES.
PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITY A VERIFICATION
LOCATE OF UNDERGROUND SERVICES IS BOTH RECOMMENDED
AND ADVISED.



CAUTION
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LEGEND			
2.5cm X 2.5cm X 1.2m	STANDARD	CONCRETE MONUMENT	SHOWN - CM
1.6cm X 1.6cm X 0.6m	IRON BARS	SHOWN - IB	
1.6cm ROUND X 0.6m	IRON BARS	SHOWN - IB	
LOT LINES	SHOWN	DEED LINES	SHOWN - X
FENCE LINES	SHOWN	OVERHEAD LINES	SHOWN - OH
ROAD LINES	SHOWN	FOUND IRON BARS	SHOWN - IB

JEWITT AND DIXON LTD.
MINISTRY OF TRANSPORTATION
J. B. DODD, O.L.S.
WITNESS MONUMENT
ORIGIN UNKNOWN

BELL BOX/FIBRE BOX	SHOWN - B/FBX
BENCH MARK	SHOWN - BM
CATCH BASIN	SHOWN - CB
TOP OF FOUNDATION	SHOWN - OF
OVERHEAD HYDRO LINE	SHOWN - OH
WATER VALVE	SHOWN - WV
UTILITY POLE	SHOWN - UP
GAS METER	SHOWN - GM
MANHOLE	SHOWN - MH

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24-4001-TOPO	

DATED: APRIL 3, 2024

JEWITT AND DIXON LTD.
FOR JEWITT & DIXON LTD.

TRAFFIC MEMORANDUM

To: County of Norfolk
From: Antech Design and Engineering Group
Date: June 26, 2025
Subject: Scott Drive – Proposed Stacked Townhouse Development 10 units total

Introduction

The subject property is currently undeveloped and fronts on Scott Drive. Scott Drive is a local, two-lane municipal road. The proposed Zoning By-law Amendment seeks to amend the existing R1-A Zone to an R4 Special Zone to permit a two-storey stacked townhouse development comprising of a total of 10 residential units. On-site parking is proposed, and the site will be serviced by two full-movement driveways onto Scott Drive.

Existing Road Conditions – Scott Drive

Scott Drive is a local residential road, designed to support residential traffic generated primarily by adjacent land uses. The road features:

- A two-lane cross section with municipal ditches on either side for drainage
- No sidewalks
- Low posted speed limit
- Connectivity to collector / arterial road

Traffic Generation

Based on standard trip general rates from ITE Generation Manual (11th Edition), stacked townhouses generate approximately 0.44 trips per unit in the am peak hours and 0.52 trips per unit in the pm peak hours. For the proposed 10 units this means that 4-5 additional vehicle trips in the am peak hour and 5-6 additional trips in the pm peak hour. Creating a comparison by using 2 single family residential dwellings, the estimated trip generations are included in the chart below

Trip Generation Comparison Table		
Trip Types	2 Single Detached Dwellings	10 Unit Stacked Dwelling
Daily Trips	18.88	73.2
AM Peak Hour Trips	1.48	4.4
PM Peak Hour Trips	2.04	5.2

The above trip generations represent a modest increase in traffic flows.

Vehicle Access and Circulation

While the proposed 10-unit development introduces a higher residential density than existing, the proposed use remains residential in nature and low rise in scale (2 storeys). This proposed design is consistent with the surrounding neighborhood character. The site is designed to be self-contained with on-site parking, thus limiting the impact to traffic on Scott Drive.

The proposed traffic increases are expected to have a minimal effect on the quality of life, safety or noise levels experienced by the abutting single-family dwellings.

Conclusion

The proposed modest intensification in the proposed Zoning By-law Amendment and subsequent development will not result in traffic volumes that exceed the capacity or the intended function of Scott Drive. The estimated post development traffic flow of 73.2 trips per day can be accommodated by the existing road and is not anticipated to have a negative impact on the adjacent properties from a traffic operations standpoint.

Please contact the undersigned should you have any questions or require further information.

Yours truly,



Andrew Butler, P.Eng.



ANTECH

Design & Engineering Group

PLANNING JUSTIFICATION REPORT

PROJECT NAME:

Multi Residential Development
Port Dover, Ontario

PROJECT ADDRESS:

Scott Drive

PROJECT NO.

250905

DATE SUBMITTED

June 30, 2025

Project Summary

Signatures and Seals

Project No.

250905

Client

Jenny Bettencourt

Client Contact

Jenny Bettencourt

Consultant Team

Andrew Butler, P.Eng.

Candice Micucci MCIP, RPP, OALA

Rabinder Bains, Student Planner

Version	Date	Description

Candice Micucci

Signature

Property Address

Scott Drive

Port Dover, Ontario

Signature

Disclaimer

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1.0 INTRODUCTION

Antech Design & Engineering Group has been retained by Jenny Bettencourt to prepare a Planning Justification Report for the development of the property legally described as Lots 11 and 12, and part of Lot 10, Registered Plan 207, located in the geographic location of Port Dover, District of Norfolk County. The subject property has lot frontage and road access on Scott Drive.

This proposal includes the development of:

- A new multi-residential building consisting of a stacked townhouse containing 10 units, with lot frontage and road access on Scott Drive.

To facilitate the proposed new construction, a Zoning By-law Amendment from Urban Residential Type 1 Zone (R1-A) to Urban Residential Type 4 Zone Special (R4) is required. The requested special components are as follows:

- As per Section 5.4, Urban Residential Type 4 Zone (R4), Subsection 5.4.2 Zone Provisions, a reduction in the required minimum lot area is proposed from 195 m² to 184.3 m² per unit.
- As per Section 5.4 Urban Residential Type 4 Zone (R4), Subsection 5.4.4 Maximum Units in a Townhouse Dwelling: No more than eight (8) dwelling units shall be located in a townhouse dwelling. The proposal seeks to increase the maximum number of dwelling units from 8 to 10 with a stacked townhouse configuration, consisting of five units on the lower level and five units on the upper level.
- As per Section 4.0: Off Street Parking, Subsection 4.9: Number of Parking Spaces, a reduction in the required minimum parking spaces from 2 spaces per dwelling unit to 1.4 spaces per unit is proposed. Each unit will have one assigned parking space, with additional spaces available on site, resulting in more than one space per unit in practice. Visitor parking has also been incorporated into the plan to accommodate guests and minimize any potential impact on surrounding streets.
 - This parking approach, through assigned spaces and additional on-site parking, enables the development to accommodate both everyday and occasional parking demands while supporting a well managed and organized parking environment.
- As per Section 4.0: Off Street Parking, Subsection 4.1: Parking Area Regulations, Sub-subsection 4.1.4: Parking Aisle Requirements, a reduction in the parking aisle width from 7.3 meters to 6.0 meters is proposed. A 6.0-meter aisle is sufficient to allow two vehicles to pass side by side and is consistent with the standard width required for fire routes. As the access will be used by tenants and their guests, no operational or safety issues are anticipated with the reduced aisle width.

The proposed development represents an investment in the continued enhancement and development of lands within this area. The proposed development is a new construction project on vacant land that will promote the use of existing transportation networks, local transit, and existing municipal infrastructure.

The purpose of this Planning Justification Report is to outline the technical details of the proposed development and to evaluate the proposed Zoning By-law Amendment in regard to the application's consistency with the Provincial Planning Statement and its conformity with the Norfolk County Official Plan and Zoning By-law.

1.1 POLICY FRAMEWORK

The subject land is currently designated as "Urban Residential" within the Norfolk County Official Plan and "Urban Residential Type 1 Zone (R1-A)" within Zoning By-Law 1-Z-2014. Accordingly, this justification report addresses the following:

- Ontario Planning Act
- Provincial Planning Statement
- Official Plan
- Zoning Bylaw

In response to the vision for the subject land to accommodate a multi residential development, Antech Design & Engineering have on behalf of the Owner, prepared this Planning Justification Report to demonstrate how the proposed development aligns with the policies listed above. Specifically, the report evaluates the relevant policies within these documents.

2.0 THE PROPOSAL

Norfolk County is experiencing steady growth, with its population expected to reach 70,930 by 2036. With a growing population, there is an increasing need for a mix of housing options to accommodate various incomes, lifestyles, and household types. However, the housing currently available in the County is predominantly single detached dwellings, with 22,810 units as of 2021, compared to only 965 row house units.

Similarly, Port Dover is projected to grow to 9,380 residents by 2036. However, despite this expected growth, housing options remain limited and are predominantly single detached homes. The lack of diverse housing restricts choice and affordability and also contributes to urban sprawl, as more low-density development takes up valuable land in this beautiful beach town.

To help address these challenges, the owner is proposing a stacked townhouse development consisting of 10 residential units, each approximately 184.3 square meters in size, to be constructed on a vacant 1,843.1 square meter lot. This form of housing will increase residential density and offer a range of housing options, while contributing to the County's growth targets, minimizing urban sprawl, and preserving the character of the town.

The owner is proposing to create a 10 unit stacked townhouse development, as shown in Figure 1 below.

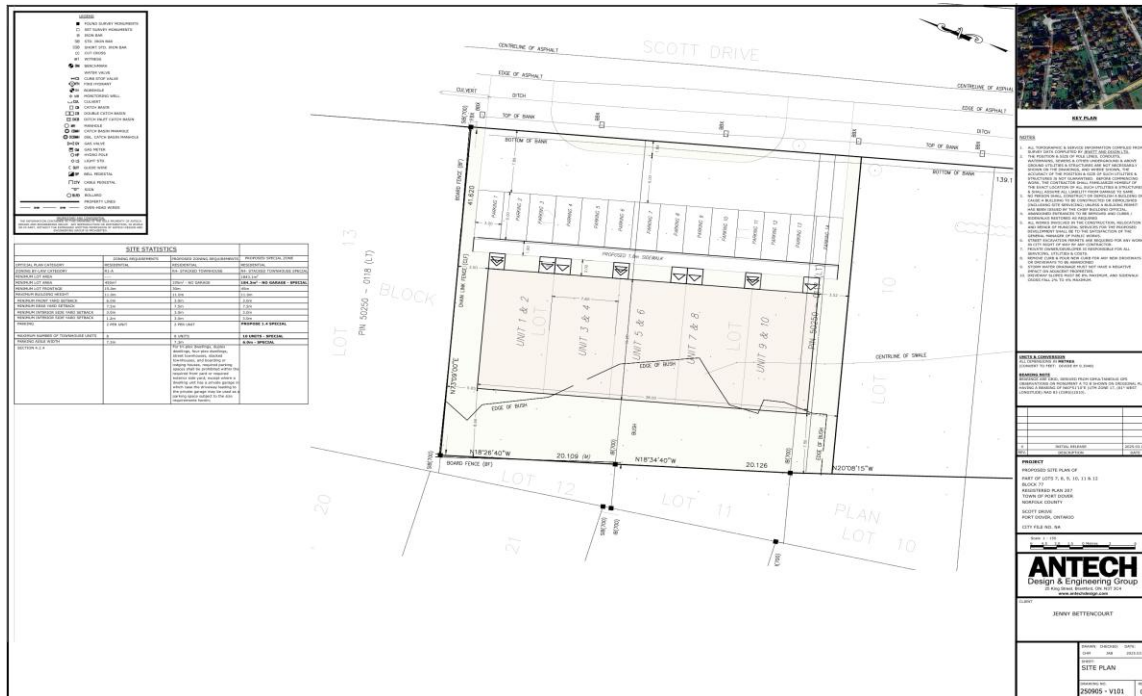
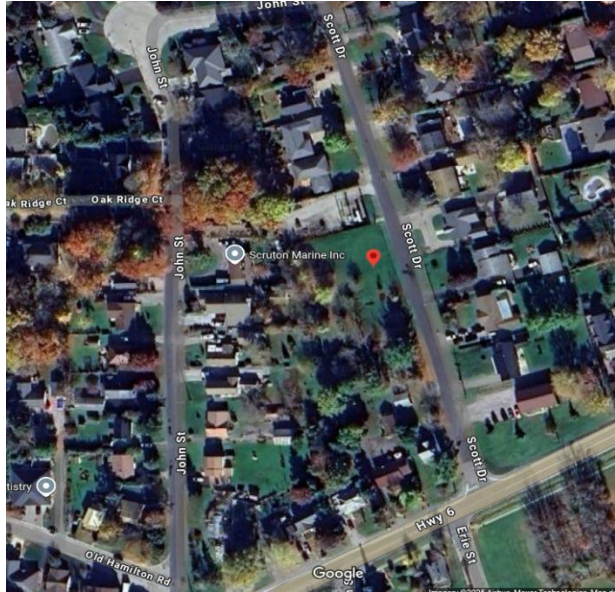


FIGURE 1: Draft Site Plan

3.0 LOCATION AND EXISTING CONDITIONS

The site is currently vacant and has lot frontage and street access from Scott Drive. Surrounding the property are single detached residential houses. Below, in Figure 2, is a Google Earth location map of the property.



To the north of the property, there is a transformer station and single detached residential houses.

To the south of the property, there are single detached residential houses. Further south, there is access to Hamilton Plank Road (Highway 6).

To the east of the subject property are single detached residential houses.

To the west of the subject property are single detached residential houses.

FIGURE 2: Site Location Map

4.0 DESIGN VISION, GUIDING PRINCIPALS AND OBJECTIVES

The goal of the proposed development is to construct a stacked townhouse on the subject property, promoting the efficient use of land. The development aligns with Norfolk County's vision for residential growth and intensification within Urban Areas.

The design of the proposed development has considered the following community design principles and objectives:

1. Preserving Community Character

The proposed stacked townhouse is designed with appropriate setbacks and height to maintain the existing neighbourhood scale. Additionally, by using compatible materials, colours, and architectural details, combined with thoughtful landscaping, the development will blend seamlessly into the community and preserve the existing character.

2. Gentle Intensification

Stacked townhouses provide a gentle increase in residential density while maintaining a low-rise built form, making them a suitable option for existing neighbourhoods with predominantly single detached homes.

3. Environmental Benefit

The development supports sustainable growth by reducing the environmental impact associated with low-density development and urban sprawl. Constructing compact housing and concentrating growth within urban areas helps preserve natural and agricultural lands.

4. Supporting Local Growth

Port Dover is projected to grow by approximately 9,380 residents by 2036, creating demand for a range of housing options. This development responds to that need by providing compact, multi-unit housing forms that accommodate more residents within the existing Urban Area, supporting sustainable and efficient growth.

5. Housing Diversity

The proposed development of a stacked townhouse will provide a mix of housing options within the neighbourhood. It offers diverse choices to accommodate various incomes, lifestyles and household types.

6. Efficient Land Use

The proposed development will utilize a vacant property to construct a stacked townhouse that increases residential density. This compact form of development supports the efficient use of land.

5.0 POLICY AND REGULATORY FRAMEWORK

5.1 PLANNING ACT

The Planning Act R.S.O. 1990 provides a framework for planning in the Province of Ontario. The Act serves the following purposes:

1. To promote sustainable economic development in a healthy natural environment
2. To provide a land use planning system led by provincial policy
3. To integrate matters of provincial interest in provincial and municipal planning decisions
4. To provide for planning processes that are fair by making them open, accessible, timely and efficient
5. To encourage co-operation and co-ordination among various interests; and,
6. To recognize the decision-making authority and accountability of municipal councils in planning.

Under Section 34 (10) of the Act, an amendment may be made to a Zoning-Bylaw.

The proposed application is seeking an amendment to the Zoning By-law.

5.2 PROVINCIAL PLANNING STATEMENT

The Provincial Planning Statement is a policy statement issued under the authority of Section 3 of the Planning Act, which came into effect on October 20, 2024. It applies to all decisions made on or after that date with respect to the exercise of any authority affecting a planning matter. The PPS requires that decisions affecting planning matters “shall be consistent with” policy statements issued under the Act.

Part III, How to Read the Provincial Planning Statement, states:

“The Provincial Planning Statement is to be read in its entirety, and all relevant policies are to be applied to each situation. When more than one policy is relevant, a decision maker should consider all of the relevant policies to understand how they work together”

The Provincial Planning Statement provides policy direction on matters of provincial interest related to land use planning and development. As a key part of Ontario’s policy led planning system, the Provincial Planning Statement sets the policy foundation for regulating the development and use of land province wide, helping achieve the provincial goal of meeting the needs of a fast growing province while enhancing the quality of life for all Ontarians. As the focus of the PPS is on the outcomes or end states, the process used to achieve these outcomes is at the discretion of the development team. The following is a brief commentary on the application for proposed Site Plan with regard to the PPS.

<u>Applicable Policy Statements</u>	<u>Rational</u>
<u>Chapter 2: Building Homes, Sustaining Strong and Competitive Communities</u> 2.1 Planning for People and Homes 4. To provide for an appropriate range and mix of housing options and densities required to meet projected requirements of current and future residents of the regional market area, planning authorities shall: a) maintain at all times the ability to accommodate residential growth for a minimum of 15 years through lands which are designated and available for residential development; and b) maintain at all times where new development is to occur, land with servicing capacity sufficient to provide at least a three-year supply of residential units available through lands suitably zoned, including units in draft approved or registered plan	<p>The proposed development is consistent with Section 2: <i>Building Homes, Sustaining Strong and Competitive Communities</i>, specifically Subsection 2.1: <i>Planning for People and Homes</i>, Policy 4 of the Provincial Planning Statement (PPS).</p> <p>The development of a stacked townhouse maximizes the residential potential of the lot while maintaining a building massing that complements the surrounding built form.</p> <p>The development will efficiently accommodate increased residential density in line with the city's growth objectives, without contributing to urban sprawl.</p>
2.1 Planning for People and Homes	The proposed development is consistent with Section 2: <i>Building Homes, Sustaining Strong and</i>

<p>6. Planning authorities should support the achievement of complete communities by:</p> <ul style="list-style-type: none"> a) accommodating an appropriate range and mix of land uses, housing options, transportation options with multimodal access, employment, public service facilities and other institutional uses (including schools and associated child care facilities, long term care facilities, places of worship and cemeteries), recreation, parks and open space, and other uses to meet long-term needs; b) improving accessibility for people of all ages and abilities by addressing land use barriers which restrict their full participation in society; and c) improving social equity and overall quality of life for people of all ages, abilities, and incomes, including equity-deserving groups. 	<p><i>Competitive Communities</i>, specifically Subsection 2.1: <i>Planning for People and Homes</i>, Policy 6 of the Provincial Planning Statement (PPS).</p> <p>The development aligns with the Complete Communities concept, as stacked townhouses provide a mix of housing options in a predominantly single-detached residential area, while complementing the surrounding built form.</p>
<p>2.2 Housing</p> <p>1. Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by:</p> <ul style="list-style-type: none"> a) establishing and implementing minimum targets for the provision of housing that is affordable to low and moderate income households, and coordinating land use planning and planning for housing with Service Managers to address the full range of housing options including affordable housing needs; b) permitting and facilitating: <ul style="list-style-type: none"> 1. all housing options required to meet the social, health, economic and well being requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities; and 2. all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., 	<p>The proposed development is consistent with Section 2: <i>Building Homes, Sustaining Strong and Competitive Communities</i>, specifically Subsection 2.2: <i>Housing</i>, Policy 1 of the Provincial Planning Statement (PPS).</p> <p>The stacked townhouse development will contribute to the supply of diverse housing options within a neighbourhood that predominantly consists of single detached dwellings. This form of housing efficiently maximizes residential density on the lot and supports the anticipated population growth in Port Dover, projected to reach approximately 9,380 residents.</p> <p>The stacked townhouse will provide a mix of housing options designed to accommodate a variety of income levels, household types, and lifestyles. It responds to the social, health, and economic needs of both current and future residents, in accordance with the PPS's emphasis on inclusive and adaptable housing.</p>

<p>shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units in accordance with policy 2.3.1.3;</p> <p>c) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation; and</p> <p>d) requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations.</p>	<p>This proposed development represents residential intensification, as it introduces a new housing type on a vacant lot within a previously developed area. The development contributes to a net increase in residential units and supports the efficient use of underutilized land.</p> <p>Additionally, the site is supported by existing municipal infrastructure and public service facilities, as it is located within an existing neighbourhood, ensuring that the development is both feasible and cost effective. The availability of appropriate infrastructure further strengthens the suitability of this site for residential intensification.</p>
<p><u>2.3 Settlement Areas and Settlement Areas Boundary Expansion</u></p> <p>2.3.1 General Policies for Settlement Areas</p> <p>2. Land use patterns within settlement areas should be based on densities and a mix of land uses which:</p> <p>a) efficiently use land and resources;</p> <p>b) optimize existing and planned infrastructure and public service facilities;</p> <p>c) support active transportation;</p> <p>d) are transit-supportive, as appropriate; and</p> <p>e) are freight-supportive.</p>	<p>The proposed development is consistent with Section 2.3: <i>Settlement Areas and Settlement Area Boundary Expansion</i>, specifically Subsection 2.3.1: <i>General Policies for Settlement Areas</i>, Policy 2 of the Provincial Planning Statement (PPS).</p> <p>The development contributes to the efficient use of vacant land by increasing residential density within an established low-density neighbourhood. This supports a more compact urban form and aligns with provincial objectives for efficient land use.</p> <p>The project will utilize existing municipal infrastructure, including water, sanitary sewer, and stormwater management systems, which are already servicing the surrounding neighbourhood. It will also benefit from proximity to Norfolk County public service facilities, including schools, parks, and recreational amenities such as the beach.</p> <p>The site is located within a five minute walk from a Ride Norfolk transit stop, promoting the use of existing public transit services. Additionally, the area is well served by a connected network of</p>

	sidewalks, which supports active transportation and enhances walkability within the beach town.
<p>2.3.1 General Policies for Settlement Areas</p> <p>3. Planning authorities shall support general intensification and redevelopment to support the achievement of complete communities, including by planning for a range and mix of housing options and prioritizing planning and investment in the necessary infrastructure and public service facilities.</p>	<p>The proposed development is consistent with Section 2.3: <i>Settlement Areas and Settlement Area Boundary Expansion</i>, specifically Subsection 2.3.1: <i>General Policies for Settlement Areas</i>, Policy 3 of the Provincial Planning Statement (PPS).</p> <p>The proposed development introduces intensification through a stacked townhouse on a vacant parcel, contributing to a broader mix of housing options within a predominantly single detached residential neighbourhood. This supports the creation of a more diverse and inclusive housing stock while maintaining compatibility with the surrounding built form.</p> <p>The proposed development will utilize existing municipal infrastructure, including water, sanitary sewer, and stormwater management systems that currently service the neighbourhood. It will benefit from ongoing infrastructure upgrades to the water treatment plant and wastewater treatment plant.</p> <p>In addition, the proposed development will be supported by existing public service facilities, such as nearby schools like Lakewood Elementary School and St. Cecilia, parks, Port Dover Beach, and recreational amenities, including the Port Dover Arena.</p> <p>The site is also within walking distance of a Ride Norfolk transit stop, enhancing accessibility for future residents.</p>
<p><u>2.4 Strategic Growth Areas</u></p> <p>2.4.1 General Policies for Strategic Growth Area</p> <p>2. To support the achievement of complete communities, a range and mix of housing options,</p>	<p>The proposed development is consistent with Section 2.4: <i>Strategic Growth Areas</i>, specifically Subsection 2.4.1: <i>General Policies for Strategic Growth Areas</i>, Policy 2 of the Provincial Planning Statement (PPS).</p>

<p>intensification and more mixed-use development, strategic growth areas should be planned:</p> <ul style="list-style-type: none"> a) to accommodate significant population and employment growth; b) as focal areas for education, commercial, recreational, and cultural uses; c) to accommodate and support the transit network and provide connection points for inter- and intra-regional transit; and d) to support affordable, accessible, and equitable housing. 	<p>The proposed development will assist the municipality in accommodating future residential growth and support the projected population increase to 9,380 residents by 2036.</p> <p>Located within an established neighbourhood predominantly characterized by single detached dwellings, the introduction of a stacked townhouse will contribute to a broader range and mix of housing options. This supports the achievement of complete communities by diversifying the housing stock, promoting intensification, and making more efficient use of vacant land. The development also contributes to more accessible and equitable housing choices by providing a built form that offers alternatives to traditional low-density residential options.</p> <p>The proposed built form enhances housing accessibility and promotes a compact, transit supportive environment, with the site located within a five minute walk of a Ride Norfolk transit stop.</p>
<p>2.4.1 General Policies for Strategic Growth Area</p> <p>3. Planning authorities should:</p> <ul style="list-style-type: none"> a) prioritize planning and investment for infrastructure and public service facilities in strategic growth areas; b) identify the appropriate type and scale of development in strategic growth areas and the transition of built form to adjacent areas; c) permit development and intensification in strategic growth areas to support the achievement of complete communities and a compact built form; d) consider a student housing strategy when planning for strategic growth areas; and e) support redevelopment of commercially-designated retail lands (e.g., underutilized 	<p>The proposed development is consistent with Section 2.4: <i>Strategic Growth Areas</i>, specifically Subsection 2.4.1: <i>General Policies for Strategic Growth Areas</i>, Policy 3 of the Provincial Planning Statement (PPS).</p> <p>The development supports the objectives of complete communities and a compact built form by efficiently increasing residential density and promoting appropriate residential intensification on a vacant property within an existing neighbourhood. It will utilize existing municipal infrastructure, including water, sanitary sewer, and stormwater management systems, which currently service the surrounding buildings. The development will also benefit from proximity to Norfolk County public service facilities, including</p>

shopping malls and plazas), to support mixed-use residential.	<p>schools, parks, and recreational amenities like the Port Dover Arena.</p> <p>The construction of a stacked townhouse will broaden the range and mix of housing options within a neighbourhood predominantly characterized by single detached dwellings. The proposed built form has been carefully designed to respect and complement the surrounding context, providing an appropriate transition in scale, setback, height, and character to the existing residential fabric.</p>
<p><u>Chapter 3: Infrastructure and Facilities</u></p> <p>3.2 Transportation Systems</p> <p>1. Transportation systems should be provided which are safe, energy efficient, facilitate the movement of people and goods, are appropriate to address projected needs, and support the use of zero-and low-emission vehicles.</p> <p>2. Efficient use should be made of existing and planned infrastructure, including through the use of transportation demand management strategies, where feasible.</p> <p>3. As part of a multimodal transportation system, connectivity within and among transportation systems and modes should be planned for, maintained and, where possible, improved, including connections which cross jurisdictional boundaries.</p>	<p>The proposed development is consistent with Section 3: <i>Infrastructure and Facilities</i>, specifically Subsection 3.2: <i>Transportation Systems</i>, Policies 1-3 of the Provincial Planning Statement (PPS).</p> <p>The proposed development is located with lot frontage on Scott Drive, an existing municipal road that forms part of the local transportation network.</p> <p>Scott Drive connects directly to Highway 6, a provincial highway that runs through Port Dover and efficiently facilitates the movement of people and goods within and beyond the town.</p> <p>Norfolk County operates <i>Ride Norfolk</i>, an on-demand, ride-share transit service that allows users to request trips by selecting pick-up locations and destinations from designated bus stops on a first-come, first-served basis.</p> <p>Port Dover is currently served by seven Ride Norfolk bus stops, with one located within a five-minute walk of the proposed development on Scott Drive. This access to public transit supports a multimodal transportation system and promotes the efficient use of existing infrastructure.</p>
3.6 Sewage, Water and Stormwater	

<p>2. Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas to support protection of the environment and minimize potential risks to human health and safety. For clarity, municipal sewage services and municipal water services include both centralized servicing systems and decentralized servicing systems.</p>	<p>The proposed development is consistent with Section 3: <i>Infrastructure and Facilities</i>, specifically Subsection 3.6: <i>Sewage, Water and Stormwater</i>, Policy 2 of the Provincial Planning Statement (PPS).</p> <p>The proposed development will be connected to municipal water and sewage services.</p>
<p>3.6 Sewage, Water and Stormwater</p> <p>8. Planning for stormwater management shall:</p> <ul style="list-style-type: none"> a) be integrated with planning for sewage and water services and ensure that systems are optimized, retrofitted as appropriate, feasible and financially viable over their full life cycle; b) minimize, or, where possible, prevent or reduce increases in stormwater volumes and contaminant loads; c) minimize erosion and changes in water balance including through the use of green infrastructure; d) mitigate risks to human health, safety, property and the environment; e) maximize the extent and function of vegetative and pervious surfaces; f) promote best practices, including stormwater attenuation and re-use, water conservation and efficiency, and low impact development; and g) align with any comprehensive municipal plans for stormwater management that consider cumulative impacts of stormwater from development on a watershed scale. 	<p>The proposed development is consistent with Section 3: <i>Infrastructure and Facilities</i>, specifically Subsection 3.6: <i>Sewage, Water, and Stormwater</i>, Policy 8 of the Provincial Planning Statement (PPS).</p> <p>The proposed development will meet municipal stormwater standards.</p> <p>The proposed stacked townhouse development will have lot coverage and landscaped space similar to the surrounding single detached homes. The development will be required to utilize the existing storm ditches on Scott Drive.</p> <p>During the development phase, soil and erosion control measures, such as silt fencing, silt sacks, and straw bales will be used to minimize erosion and soil runoff into the existing ditches and abutting properties.</p>
<p><u>Chapter 4: Wise Use and Management of Resources</u></p> <p>4.2 Water</p> <p>1. Planning authorities shall protect, improve or restore the quality and quantity of water by:</p> <ul style="list-style-type: none"> a) using the watershed as the ecologically meaningful scale for integrated and long-term planning, which can be a foundation 	<p>The proposed development is consistent with Section 4: <i>Wise Use and Management of Resources</i>, specifically Subsection 4.2: <i>Water</i>, Policy 1 of the Provincial Planning Statement (PPS).</p> <p>The development will meet applicable standards for water quality and quantity.</p>

<p>for considering cumulative impacts of development;</p> <ul style="list-style-type: none"> b) minimizing potential negative impacts, including cross-jurisdictional and cross watershed impacts; c) identifying water resource systems; d) maintaining linkages and functions of water resource systems; e) implementing necessary restrictions on development and site alteration to: <ul style="list-style-type: none"> 1. protect all municipal drinking water supplies and designated vulnerable areas; and 2. protect, improve or restore vulnerable surface and ground water, and their hydrologic functions; f) planning for efficient and sustainable use of water resources, through practices for water conservation and sustaining water quality; and g) ensuring consideration of environmental lake capacity, where applicable. 	
<p><u>4.4 Minerals and Petroleum</u> 4.4.1 General Policies for Minerals and Petroleum 1. Minerals and petroleum resources shall be protected for long-term use.</p>	<p>The proposed development is consistent with Section 4.4: <i>Minerals and Petroleum</i>, specifically Subsection 4.4.1: <i>General Policies for Minerals and Petroleum</i>, Policy 1 of the Provincial Planning Statement (PPS).</p> <p>There are no known mineral or petroleum resources on the subject property.</p>
<p><u>4.5 Mineral Aggregate Resources</u> 4.5.1 General Policies for Mineral Aggregate Resources 1. Mineral aggregate resources shall be protected for long-term use and, where provincial information is available, deposits of mineral aggregate resources shall be identified.</p>	<p>The proposed development is consistent with Section 4.5: <i>Mineral Aggregate Resources</i>, specifically Subsection 4.5.1: <i>General Policies for Mineral Aggregate Resources</i>, Policy 1 of the Provincial Planning Statement (PPS).</p> <p>There are no known mineral aggregate resources on the subject land.</p>

<p>4.6 Cultural Heritage and Archaeology</p> <p>1. Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.</p>	<p>The proposed development is consistent with Section 4: <i>Wise Use and Management of Resources</i>, specifically Subsection 4.6: <i>Cultural Heritage and Archaeology</i>, Policy 1 of the Provincial Planning Statement (PPS).</p> <p>An archaeological study has been completed. There are no built heritage resources on the subject land.</p>
<p><u>Chapter 5: Protecting Public Health and Safety</u></p> <p>5.2 Natural Hazard</p> <p>2. Development shall generally be directed to areas outside of:</p> <ul style="list-style-type: none"> a) hazardous lands adjacent to the shorelines of the Great Lakes -St. Lawrence River System and large inland lakes which are impacted by flooding hazards, erosion hazards and/or dynamic beach hazards; b) hazardous lands adjacent to river, stream and small inland lake systems which are impacted by flooding hazards and/or erosion hazards; and c) hazardous sites. 	<p>The proposed development is consistent with Section 5: <i>Protecting Public Health and Safety</i>, specifically Subsection 5.2: <i>Natural Hazards</i>, Policy 2 of the Provincial Planning Statement (PPS).</p> <p>There are no known natural hazards on the subject property.</p>

In conclusion, the proposed development meets the intent of the policies in the Ontario Provincial Planning Statement, 2024.

5.3 OFFICIAL PLAN

The subject property is designated as Urban Residential within the Norfolk County Official Plan. The existing designation permits the proposed development, and no amendment is required.

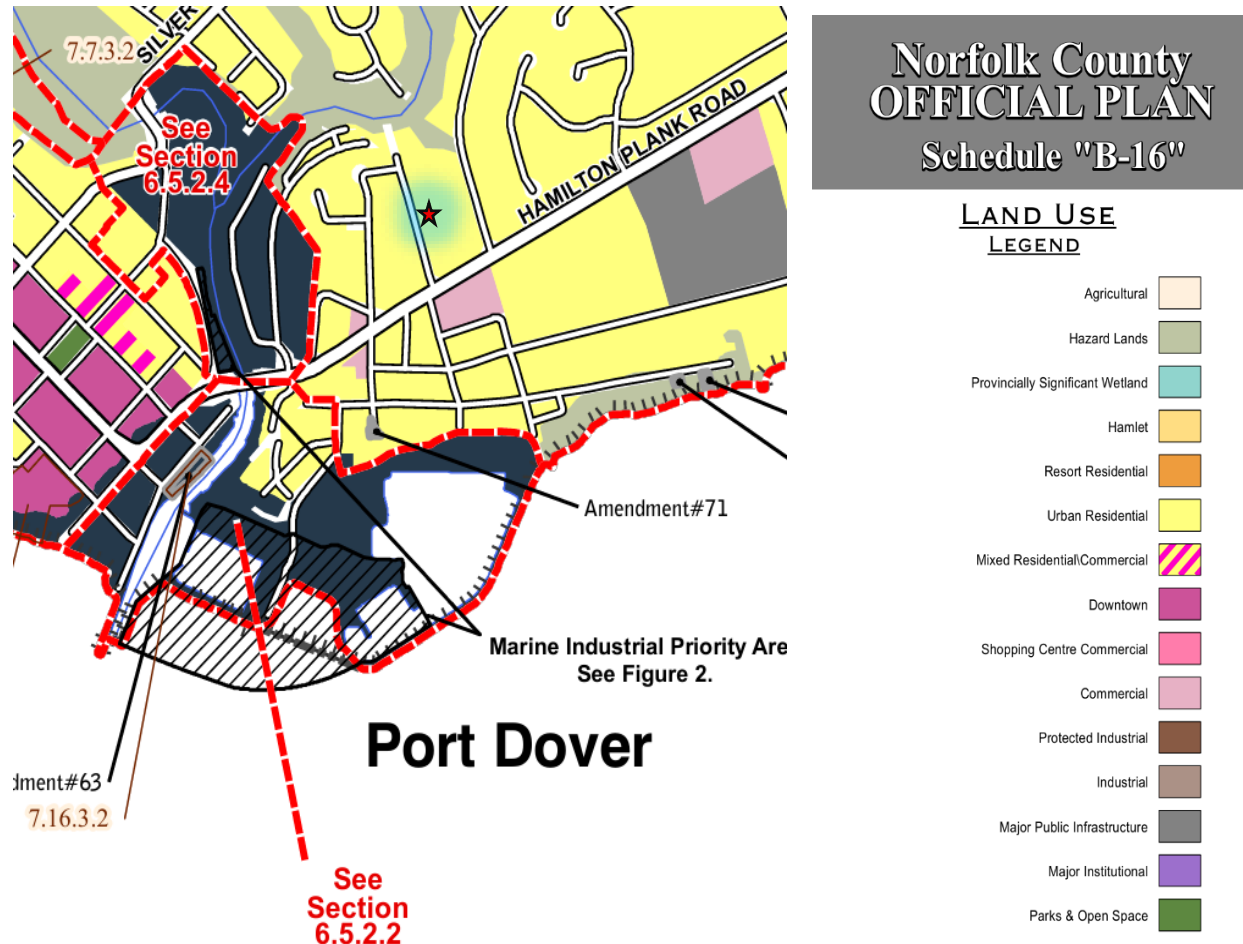


FIGURE 3: Official Plan Schedule B-16

Section 2.0: Norfolk County in 2036: A Vision, outlines the goals and objectives identified and refined through ideas and images collected from hundreds of Norfolk residents. These contributions collectively shaped the planning framework and policies of the Official Plan.

The Official Plan presents a broad vision for the long-term planning and development of Norfolk County:

"Norfolk County strives to balance a commitment to the land and emerging opportunities for growth and development."

To support this vision, six themes have been established as the foundation of public planning policy. These six themes are:

1. A stronger, more diversified economy;
2. Protecting and improving the natural environment;
3. Maintaining and enhancing the rural and small town character;
4. Maintaining a high quality of life;
5. Upgrading and expanding crucial infrastructure; and
6. A well governed, well planned and sustainable County

The proposed development will perfectly complement these themes, as illustrated below:

Section 2.0 Norfolk County in 2036: A Vision, Subsection 2.2 Goals and Objectives, Sub-Subsection 2.2.3 Maintaining and Enhancing the Rural and Small Town Character, and its corresponding objective 2.2.3.2:

- b) Encourage the beautification, improvement and/or redevelopment of the County.
- c) Revitalize and reuse underutilized land in the County.
- e) Develop land use patterns in the Urban Areas that are compact and efficient.

The design of the proposed development will effectively complement the surrounding built form and contribute to the County's housing supply. It will also make efficient use of a vacant, underutilized parcel of land within an Urban Residential designation. The proposed stacked townhouse development is a compact housing form that will effectively utilize the land and help reduce urban sprawl.

Section 2.0 Norfolk County in 2036: A Vision, Subsection 2.2 Goals and Objectives, Sub-Subsection 2.2.4 Maintaining a High Quality of Life, and its corresponding objective 2.2.4.2:

- a) Provide for a variety of housing forms, tenures and levels of affordability through development, redevelopment, intensification and infilling projects.
- c) Ensure that new development is designed in a manner that provides a safe, aesthetically appropriate, and stimulating environment.

The proposed development is an initiative to introduce a variety of housing forms in an area predominantly composed of single detached residential dwellings. The two-storey stacked townhouse is compatible with the surrounding two storey single detached dwellings and two storey townhouses, and contributes to an aesthetically appropriate streetscape, as shown in Figure 4. The design will incorporate principles that promote safety and reflect the existing character of the neighbourhood, while maintaining the aesthetic harmony of the community.

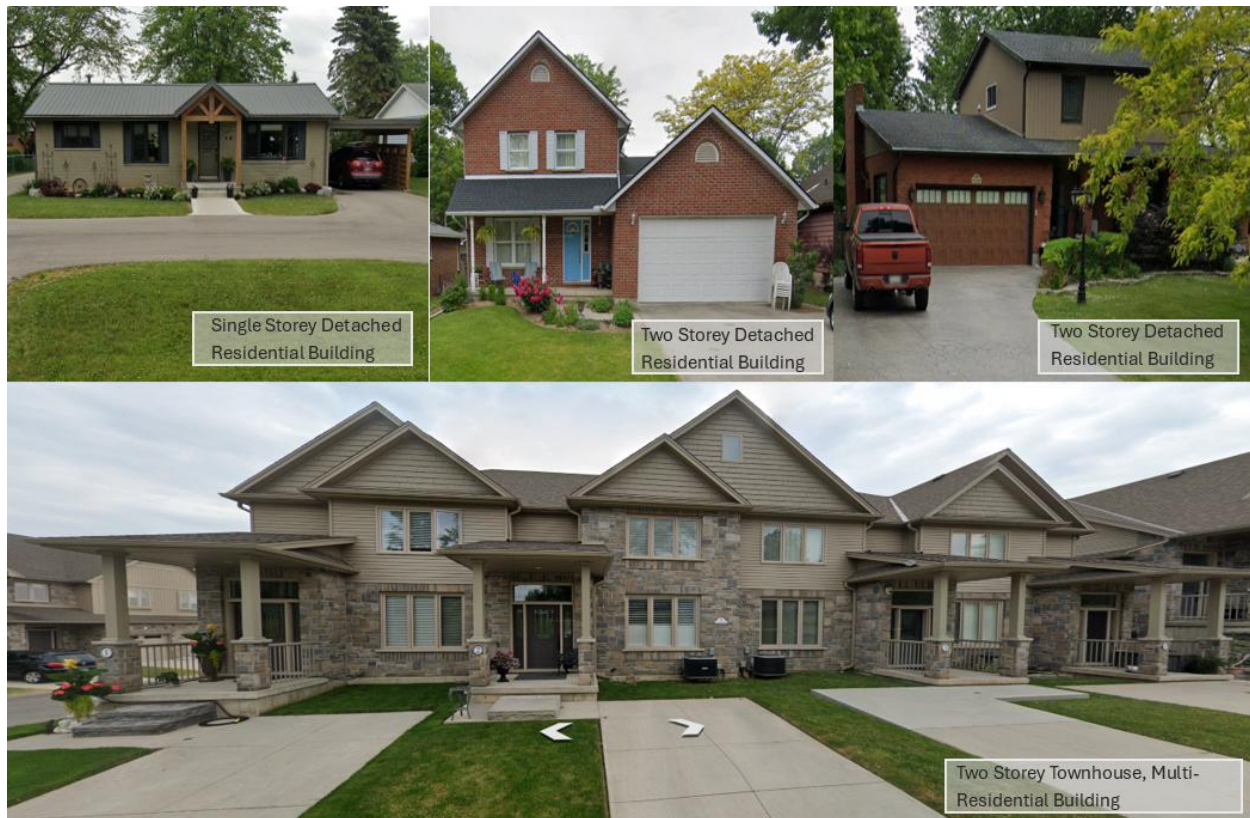


Figure 4: Surrounding Residential Building Forms

Section 2.0 of the Official Plan, Norfolk County in 2036: A Vision, sets out the long-term direction for growth and development. Subsection 2.2.6, A Well Governed, Well Planned and Sustainable County, emphasizes the importance of sound planning and sustainable land use decisions. Objective 2.2.6.2 supports proactive planning that promotes efficient land use and financial sustainability.

- c) Communicate and cooperate with private sector interests to review development initiatives, and where deemed appropriate, to support those projects that will benefit the County.
- d) Ensure the responsible use of land by encouraging the redevelopment, intensification and infilling of underutilized land and the efficient use of greenfield lands in Urban Areas.
- e) Direct new urban development to Urban Areas and Hamlet Areas, ensuring a compact form, and an appropriate mix of land uses and densities, resulting in the efficient use of land, infrastructure, and public services and facilities.
- g) Ensure that all new development in Urban Areas occurs on full municipal services, except in areas specifically provided for in this Plan, to ensure the maintenance of healthy communities and the natural environment.

The proposed development will benefit the County by contributing to its housing targets. The Official Plan sets a goal for 15 percent of all new housing in Norfolk County to consist of semi-detached and

townhouse dwellings (Section 5.3). This proposed development will effectively utilize a vacant parcel of land and increase residential density through a stacked townhouse in an urban area. Compact in form, the proposal makes efficient use of land while helping to reduce urban sprawl. The development will also make use of existing municipal services in the neighborhood.

Section 5.3 of the Official Plan, *Housing*, outlines the County's commitment to ensuring a diverse and adequate housing supply. Subsection 5.3.1, Residential Intensification, emphasizes the importance of directing urban residential growth within existing built-up areas. This approach reduces reliance on vacant designated lands at the urban fringe and limits the need for expansion into the Agricultural Area. By encouraging infill, intensification, and redevelopment, the policy supports more efficient use of urban services and infrastructure, helps control service delivery costs, and addresses key components of the County's housing needs.

a) Housing shall, in part, be provided through urban residential intensification, which may include any of the following:

ii) infill development and residential development of vacant land or underutilized land in existing neighbourhoods; and/or

b) The County shall target that a minimum 25 percent of its annual residential growth be accommodated through infill, intensification and redevelopment within the existing built-up areas in the Urban Areas with full municipal services.

f) The County shall consider applications for infill development, intensification and redevelopment of sites and buildings through intensification based on the following criteria:

i) the development proposal is within an Urban Area, and is appropriately located in the context of the residential intensification study;

ii) the existing water and sanitary sewer services can accommodate the additional development;

iii) the road network can accommodate the traffic generated;

iv) the proposed development is compatible with the existing development and physical character of the adjacent properties and surrounding neighbourhood; and

v) the proposed development is consistent with the policies of the appropriate Land Use Designation associated with the land.

The proposed development complies with the residential intensification policies of the Official Plan, as it is located on a vacant parcel of land within an existing, fully serviced neighbourhood. This supports the County's target of accommodating a minimum of 25 percent of annual residential growth through infill, intensification, and redevelopment within built-up urban areas.

The site has access to existing municipal water and sanitary sewer services, allowing the development to proceed without the need for significant servicing upgrades. The property is also well connected, with

access via local roads and a nearby provincial highway, providing convenient transportation options for future residents.

The proposed stacked townhouse is compatible with the surrounding residential dwellings, sharing similar height characteristics with the two-storey single detached dwellings and two storey townhouses (refer to Figure 4). It has been thoughtfully designed to complement the architectural character of the neighbourhood and to preserve its visual harmony. Furthermore, the development conforms to the policies of the Urban Residential designation, supporting a compact, efficient, and sustainable community form.

Section 7.7 of the Official Plan, Urban Residential Designation, sets the policy direction for residential development within the County's designated Urban Areas. As stated in the Official Plan, "The Urban Residential Designation applies to the Urban Areas of the County. The Urban Areas are expected to continue to accommodate attractive neighbourhoods which will provide for a variety of residential forms." The designation recognizes the importance of providing a mix of housing types to serve the County's diverse and evolving population. In line with the policy's objective that "a variety of housing types are needed to meet the needs of a diverse population," this section supports inclusive and adaptable neighbourhoods that accommodate a range of lifestyles, income levels, and household types. By promoting a variety of residential built forms, the policy helps ensure that urban areas remain livable, resilient, and responsive to long-term community needs.

The proposed development aligns with Section 7.7 of the Official Plan by contributing to the creation of an attractive and diverse residential neighbourhood within a designated Urban Area. The integration of a stacked townhouse into a predominantly single detached residential area supports the policy objective of providing a variety of residential forms to meet the evolving needs of the County's population. This development offers an alternative housing option that accommodates a broader range of household types, income levels, and lifestyles, thereby enhancing the inclusivity and adaptability of the neighbourhood. By maintaining compatibility with the surrounding built form while diversifying the housing stock, the proposal supports the long-term goals of livability, resilience, and sustainable growth outlined in the Urban Residential Designation policies.

Section 7.7.1 of the Official Plan outlines the permitted uses within the Urban Residential Designation, which is intended to guide residential development in the County's Urban Areas. Subsection 7.7.1(b) specifically permits a range of medium-density residential uses, including triplex dwellings, fourplex dwellings, row or block townhouse dwellings, converted dwellings containing more than two dwelling units, walk-up apartments, and other similar medium-profile residential buildings.

The proposed development of stacked townhouses complies with the permitted uses outlined in Section 7.7.1(b) of the Official Plan.

Section 7.7 of the Official Plan, Urban Residential Designation, sets out the guiding framework for residential development within the County's Urban Areas. Subsection 7.7.2, *Land Use Policies*, outlines the specific policies that apply to lands designated as Urban Residential. These policies are intended to ensure that residential development is compatible with surrounding land uses, reflects appropriate

design standards, and supports the development of complete and well serviced neighbourhoods. Key policies include:

- i) the density, height and character of the development shall have regard to adjacent uses;
- ii) the height and massing of the buildings at the edge of the medium density residential development shall have regard to the height and massing of the buildings in any adjacent low density residential area and may be subject to additional setbacks, or landscaping to provide an appropriate buffer;
- iii) the development will be encouraged to have direct access to an arterial or collector road, where possible and appropriate;
- iv) the watermains and sanitary sewers shall be capable of accommodating the development, or the proponent shall commit to extending services at no cost to the County, save and except for in the Courtland Urban Area, where private septic systems shall be permitted;
- v) the development is adequately serviced by parks and school facilities;
- vi) in developments incorporating walk-up apartments, block townhouse dwellings and medium-profile residential buildings, on-site recreational facilities or amenities such as playground equipment may be required;
- vii) the development shall be designed and landscaped, and buffering shall be provided to ensure that the visual impact of the development on adjacent uses is minimized;
- viii) except for a triplex dwelling, fourplex dwelling or other similar small-scale developments, a report on the adequacy of the road network to accommodate the expected traffic flows, and the adequacy of water and sewer services may be required from the proponent and approved by the County; and
- ix) triplexes, fourplexes, freehold street townhouses or other similar small scale developments, may be subject to site plan control, in accordance with the policies of Section 9.6.5 (Site Plan Control) of this Plan.

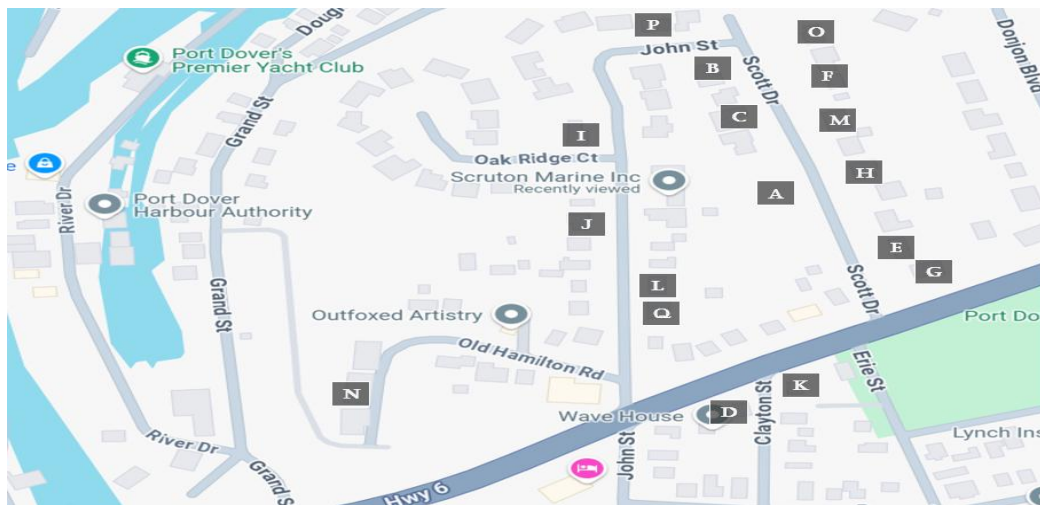
The proposed development of a two-storey stacked townhouse on a vacant property within an existing residential neighbourhood is consistent with the land use policies outlined in Section 7.7.2 of the Official Plan. The development maintains the height, scale, and character of adjacent properties and has been designed to complement the surrounding built form, ensuring compatibility with existing land uses. The two-storey height of the proposed development aligns with the adjacent two storey detached residential dwellings, creating a harmonious transition and contributing to a consistent streetscape.

As shown in Figure 5a: Abutting Developments Map, the subject property is surrounded by several two-storey low density residential dwellings. Additionally, two storey townhouse developments are located within approximately 700 meters of the site, demonstrating that this built form is compatible with the broader neighbourhood context. Supporting images in Figure 5b: Images of Residential Properties Identified in Figure 5a, further illustrate the existing residential character and built form.

Landscaping, building orientation, and appropriate setbacks have been incorporated into the design to minimize visual impacts on adjacent properties, in accordance with the Official Plan's policy direction regarding the integration of medium density development within established low density neighbourhoods. Overall, the proposed development represents a compatible and context sensitive intensification that reinforces the character of the surrounding community.

The site benefits from access to local roads and Highway 6, a nearby provincial highway, supporting efficient transportation connectivity. Additionally, the development will be fully serviced by existing municipal water and sanitary sewer systems within the neighbourhood. As the development is located within an established residential area that is adequately served by parks and school facilities, it contributes to a functional and connected neighbourhood.

Overall, the proposal aligns with the Urban Residential Designation's land use policies by supporting context sensitive intensification, appropriate design, and the efficient use of existing infrastructure.



- | | | |
|---|--|---|
| A. Subject Land for Proposed Two Storey Stacked Townhouse Development | G. 2 Storey Single Detached Residential Building | M. 2 Storey Single Detached Residential Building |
| B. 2 Storey Single Detached Residential Building | H. Single Storey Detached Residential Building | N. 2 Storey Townhouse, Multi-Residential Building |
| C. 2 Storey Single Detached Residential Building | I. 2 Storey Single Detached Residential Building | O. 2 Storey Single Detached Residential Building |
| D. 2 Storey Single Detached Residential Building | J. Single Storey Detached Residential Building | P. 2 Storey Single Detached Residential Building |
| E. Single Storey Detached Residential Building | K. 2 Storey Single Detached Residential Building | Q. 2 Storey Single Detached Residential Building |
| F. Single Storey Detached Residential Building | L. Single Storey Detached Residential Building | |

Figure 5a: Abutting Developments Map



Figure 5b: Images of Residential Properties Identified in Figure 5a

Section 5.4 of the Official Plan contains policies regarding Community Design, with the primary objective of creating safe, attractive, and inclusive neighbourhoods that support the overall health and well-being of the community. This objective is achieved through thoughtful design that fosters a high quality physical environment where residents can live, work, recreate, and connect.

The proposed development supports these objectives by introducing a well designed stacked townhouse that integrates seamlessly into the existing neighbourhood. The building has been carefully located and scaled to respect the character of surrounding properties. This is further achieved through thoughtful design that fosters a high quality physical environment, characterized by a network of sidewalks that encourage walkability, accessible public spaces, a mix of housing types, and well integrated green spaces. These design elements promote social interaction, support active lifestyles and help build a strong sense of place where residents can live, work, recreate, and connect.

The community design principles are as follows:

a) Through implementation of this Plan, the County shall seek to maintain and improve the physical design characteristics of the Urban Areas in the context of new and existing development and stress a generally high quality of settlement design throughout the County.

b) Through the review of development applications, including plans of subdivision, site plans and other development proposals, the County:

- I. shall ensure that new development is designed in keeping with the traditional character of the Urban Areas, in a manner that both preserves the traditional image of the Urban Areas and enhances the sense of place within the County while maintaining the community image of existing settlement areas;
- II. shall promote efficient and cost-effective development design patterns that minimize land consumption;
- III. shall promote the improvement of the physical character, appearance and safety of streetscapes, civic spaces, and parks;
- IV. shall encourage tree retention and tree replacement;
- V. shall ensure that design is sympathetic to the heritage character of an area, including the area's cultural heritage resources;
- VI. shall strongly encourage design that considers and, wherever possible, continues existing and traditional street patterns and neighbourhood structure; and
- VII. may require, at the County's sole discretion, that proponents submit design guidelines with development applications, establishing how the policies of this Section have been considered and addressed. Such guidelines may also be required to address related issues of residential streetscaping, landscaping, setbacks, sidewalks, signage, garage placement, and architectural treatment.

c) Adequate measures shall be taken to ensure that the permitted uses have no adverse effects on adjacent land uses. Adequate buffering shall be provided between any uses where land use conflicts might be expected, and such buffering may include provisions for grass strips and appropriate planting of trees and shrubs, berms or fence screening, and other means as appropriate. Modifications to building orientation may also be appropriate buffering measures, but not in replacement of appropriate plantings.

d) Development design that establishes reverse lotting on Provincial Highways and County Roads will not be permitted. Development design that requires features such as noise attenuation or privacy fencing will be discouraged. Wherever possible, new development will be oriented toward streets or parks.

e) The County shall require compatibly scaled and designed infill developments within areas designated as Downtown, which enhance the traditional character and economic viability of such centres.

- f) A high quality of architecture and site design for institutional uses such as schools, places of worship, libraries and other public service buildings is encouraged.
- g) Streetscaping that reflects the intended character of settlement areas is encouraged. In particular, traditional streetscaping in the Downtown Designations of the Urban Areas will be encouraged.
- h) A high quality of park and open space design is strongly encouraged. The land for parkland dedication shall be carefully selected to facilitate their use as a central focal point for new or existing neighbourhoods.
- i) Public art in the County shall generally be encouraged to incorporate themes supporting and promoting local history, civic pride, businesses and technology. The provision of public art in the Downtown Designations shall be encouraged. The County may consider granting increases in height or density for a particular development proposal in exchange for the provision of public art, in accordance with Section 37 of the Planning Act.
- j) The County may require the provision of certain pedestrian, cycling and trail linkages through the development approvals process.
- k) The County, in consultation with a development proponent(s) and the Norfolk Heritage Committee, shall define a style of street furnishing that should include shared and accessible bicycle racks, garbage receptacles, benches and street lamps to be used in a new development.
- l) The County may undertake the preparation of urban design guidelines to achieve the policies of this Section for all or parts of the County.
- m) The County shall encourage development design considering the principles of Crime Prevention Through Environmental Design (CPTED). Specifically, the County shall encourage proponents of new development to use appropriate lighting to deter crime and to situate buildings on lots to maximize natural surveillance.
- n) To promote environmental sustainable development, the County shall encourage the design of sustainable neighbourhoods in keeping with Leadership in Energy and Environmental Design - Neighbourhood Development (LEED ND) design principles in accordance with the policies under Section 11.8.2.1 Sustainable Neighbourhood Design of the Lakeshore Special Policy Area Secondary Plan.
- o) The County shall review site plans and drawings submitted in accordance with Section 41 of the Planning Act and Section 9.6.5 (Site Plan Control of this Plan) regarding accessibility for persons with disabilities including but not limited to areas of accessible parking, exterior paths of travel, lighting, ramps, entrances and street furniture.

The proposed stacked townhouse development has been thoughtfully designed to align with the community design principles outlined in Section 5.4 of the Official Plan. The building is located and massed to respect the existing character of the neighbourhood, which is predominantly composed of

single detached housing, while providing a compatible and gentle form of intensification, supporting Policy 5.4 b) I. To mitigate any potential adverse effects on adjacent land uses, the design incorporates appropriate setbacks in accordance with Policy 5.4 c). These measures help ensure a seamless transition between different residential forms.

The design incorporates a pedestrian friendly layout, with sidewalks that encourage walkability and improve access to transportation services, in line with Policies 5.4 b) III and j). The development also aims to minimize land consumption and promote efficient development patterns, supporting Policy 5.4 b) II.

The proposed development maintains the existing street pattern and complements the scale and rhythm of surrounding buildings, aligning with Policies 5.4 b) I and VI. The building's design and location promote natural surveillance, supporting safety through Crime Prevention Through Environmental Design (CPTED) principles, as outlined in Policy 5.4 m.

Furthermore, the development will contribute to a more compact and diverse housing mix in the area, supporting inclusive and sustainable neighbourhood design in accordance with Policy 5.4 n.

While final details will be confirmed through any applicable development approvals process, including site plan control if required, the current design demonstrates a clear intent to satisfy the Official Plan's objectives for high quality, compatible, and sustainable community design.

In conclusion, it is my professional opinion that the proposed development meets the intent of the policies of the Norfolk County Official Plan.

5.4 ZONING BY-LAW

The subject property is currently designated as Urban Residential Type 1 Zone (R1-A). The proposed Zoning is Urban Residential Type 4 (R4) as per Zoning By-law 1-Z-2014. Below, Figure 3 is an excerpt from the Norfolk County Zoning By-law Schedule A, illustrating the existing Zoning of the subject property as well as the surrounding zoning designations.

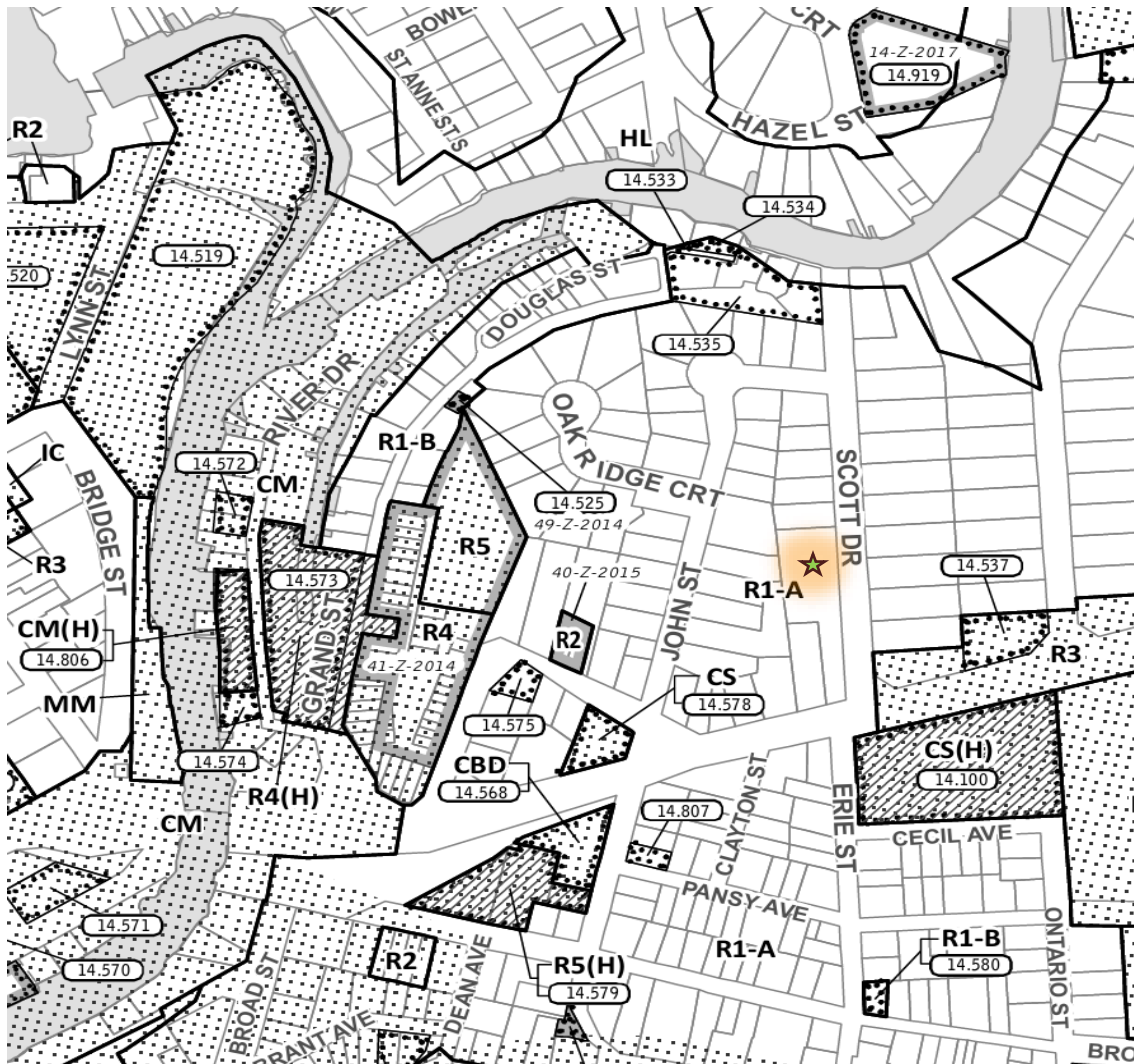


FIGURE 6: Norfolk County Zoning By-law 1-Z-2014 - Schedule A

As illustrated in Figure 6, there is a mix of zoning designations surrounding the subject land. These designations range from Service Commercial Zone (CS), Central Business District Zone (CBD), Urban Residential Type 1 Zone (R1), Urban Residential Type 2 Zone (R2), Urban Residential Type 4 Zone (R4), and Urban Residential Type 5 Zone (R5). Refer to Figure 5a: Abutting Developments Map and Figure 5b: Images of Residential Properties Identified in Figure 5a, for additional details on building heights and types of built forms within the surrounding context.

The permitted uses for the relevant zones are indicated in the chart below.

Uses	R1	R4
Dwelling, Single Detached	X	
Dwelling, Semi-detached		X
Dwelling, Duplex		X
Dwelling, Triplex		X
Dwelling, Fourplex		X
Accessory, Residential Dwelling Unit	X	X
Townhouse, Group		X
Townhouse, Stacked		X
Townhouse, Street		X
Boarding House		
Cemetery		
Group Home		
Home for Special Care		
Retirement Home		
Second Dwelling Unit		
Bed and Breakfast Establishment	X	
Home Occupation	X	X
Private Home Childcare		
Cemetery		
Child Care Centre		
Health Services Establishment		
Home for Special Care		
Hospital		
Long Term Care Home		
Place of Recreation		
Place of Worship		

The permitted setbacks and lot requirements for the relevant zones are included in the chart below.

	R1-A	R4 (Group Townhouse & Stacked Townhouse)	Proposed
Minimum Lot Area			1843.1 m ²

Minimum Lot Area:			184.3 m ² per unit – No Garage (Special Provision)
Interior Lot	450 m ²		
Corner Lot	560 m ²	195 m ²	
Attached Garage		195 m ²	
Detached Garage		215 m ²	
Minimum Lot Frontage:			
Interior Lot	15 m	30 m	45 m
Corner Lot	18 m	30 m	
Minimum Front Yard:	6 m		3.0 m
Attached Garage		6 m	
Detached Garage with Rear Lane	3m		
Minimum Exterior Side Yard	6 m		
i) With a 6 metre front yard		6 m	
ii) With a 1.5 metre front yard		1.5 m	
Minimum Interior Side Yard Setback		3 m	3 m
Detached Garage	3 m x 1.2 m		
Detached Garage with a Rear Lane; Attached Garage	1.2 m each side		
Detached Garage or Rear Yard Parking		1.5 m	
Minimum Rear Yard:	7.5 m		7.5 m
i) Attached Garage		7.5 m	
ii) Detached Garage		7.5 m	
Minimum Separation: between Townhouse Dwellings		2 m	
Maximum Building Height:	11 m	11 m	11 m
Maximum Units in a Townhouse Dwelling		No more than 8 dwelling units	10 units (Special Provision)
Parking	2 parking spaces for each dwelling unit	2 parking spaces for each dwelling unit	Proposed 1.4 per unit (Special Provision)
Parking Aisle Width	7.3 m	7.3 m	Proposed 6 m (Special Provision)

The bolded items in the chart above represent the proposed special zone.

The full request under the special zone is:

As per Section 5.4: Urban Residential Type 4 Zone (R4), Subsection 5.4.2: Zone Provisions, a reduction in the required minimum lot area is proposed from 195 m² to 184.3 m² per unit.

As per Section 5.4: Urban Residential Type 4 Zone (R4), Subsection 5.4.4: Maximum Units in a Townhouse Dwelling, No more than eight (8) dwelling units shall be located in a townhouse dwelling. The proposal seeks to increase the maximum number of dwelling units from 8 to 10 with a stacked townhouse configuration, consisting of five units on the lower level and five units on the upper level.

As per Section 4.0: Off Street Parking, Subsection 4.9: Number of Parking Spaces, a reduction in the required minimum parking spaces from 2 spaces per dwelling unit to 1.4 spaces per unit is proposed. Each unit will have one assigned parking space, with additional spaces available on site, resulting in more than one space per unit in practice. Visitor parking has also been incorporated into the plan to accommodate guests and minimize any potential impact on surrounding streets.

This parking approach, through assigned spaces and additional on-site parking, enables the development to accommodate both everyday and occasional parking demands while supporting a well managed and organized parking environment.

As per Section 4.0: Off Street Parking, Subsection 4.1: Parking Area Regulations, Sub-subsection 4.1.4: Parking Aisle Requirements, a reduction in the parking aisle width from 7.3 meters to 6.0 meters is proposed. A 6.0 meter aisle is sufficient to allow two vehicles to pass side by side and is consistent with the standard width required for fire routes. As the access will be used by tenants and their guests, no operational or safety issues are anticipated with the reduced aisle width.

The proposed zoning and subsequent development meet the general intent of the policies of the Zoning By-law.

6.0 CONCLUSION

The application for a Zoning By-law Amendment, as described in this report, has been fully reviewed from a land use planning perspective. It is our professional opinion that the application should be approved for the following reasons:

- The approval of the application is consistent with the policies in the Planning Act.
- The approval of the application is consistent with the Provincial Planning Statement
- The approval of the application maintains the intent of the policies of the Norfolk Official Plan.
- The proposed application is in general compliance with the Norfolk Zoning By-law
- The approval of the application represents good planning

CONTEXT MAP

Urban Area of PORT DOVER

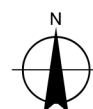


Legend

Subject Lands

2020 Air Photo

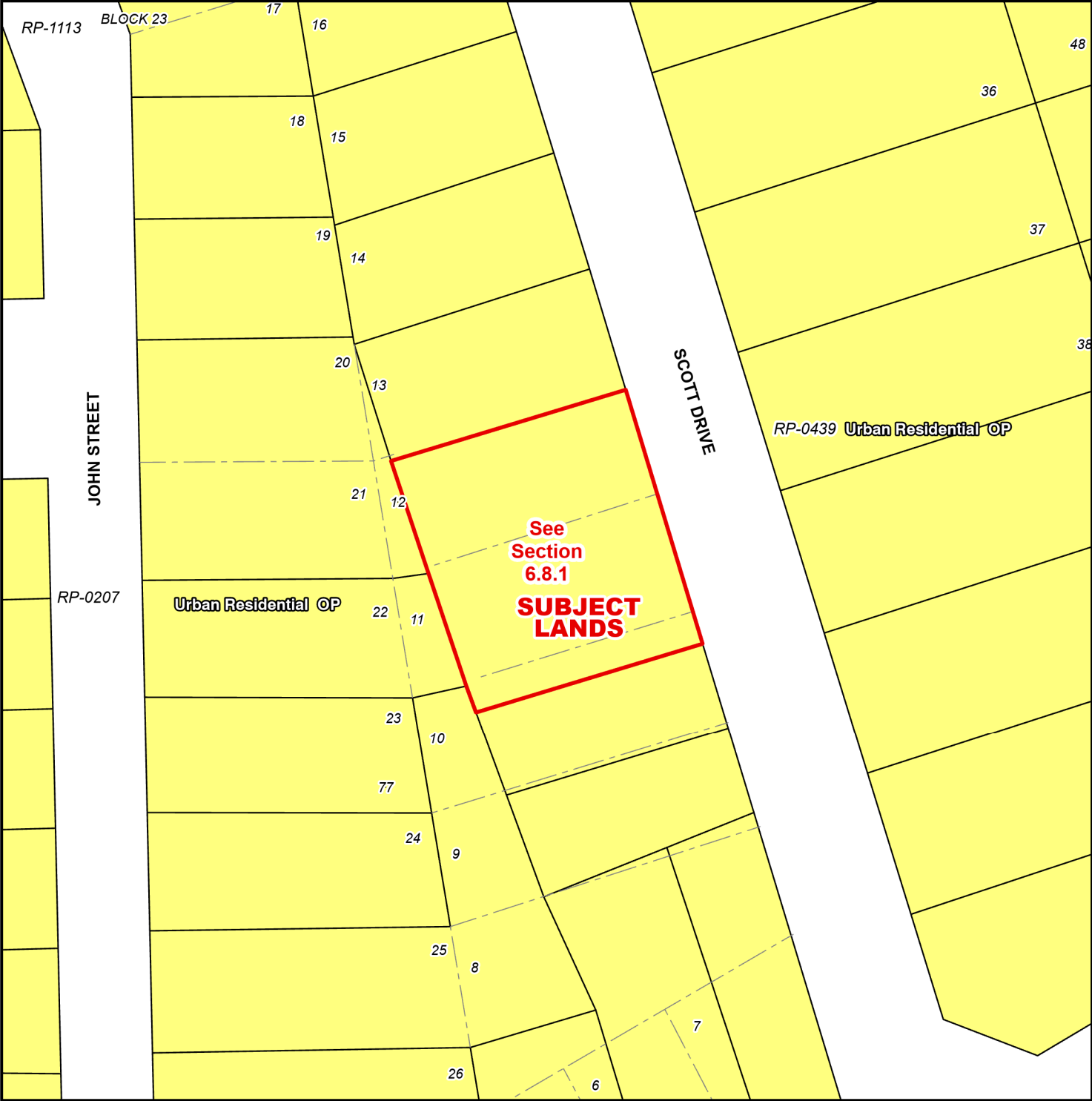
7/17/2025




25 12.5 0 25 50 75 100 Meters


MAP B
OFFICIAL PLAN MAP
Urban Area of PORT DOVER


ZNPL2025225




Legend


 Subject Lands

 Urban Residential

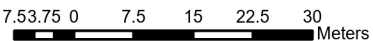
 Special Policy Area

 Urban Area Boundary

Official Plan Designations

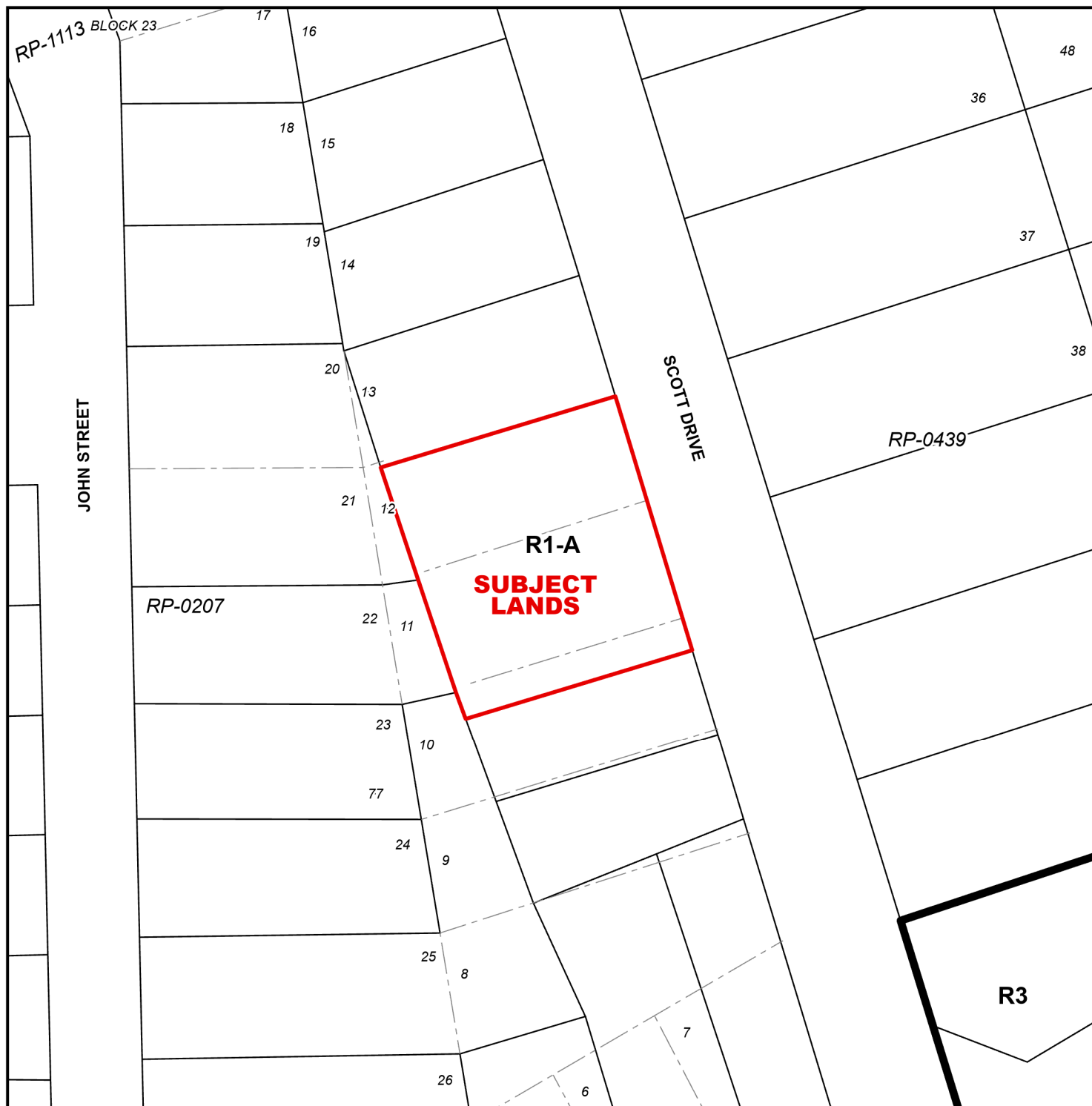


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PROPOSED ZONING BY-LAW AMENDMENT MAP

Urban Area of PORT DOVER



LEGEND

Subject Lands

ZONING BY-LAW 1-Z-2014

7/17/2025


(H) - Holding

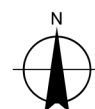
R1-A - Residential R1-A Zone

R3 - Residential R3 Zone



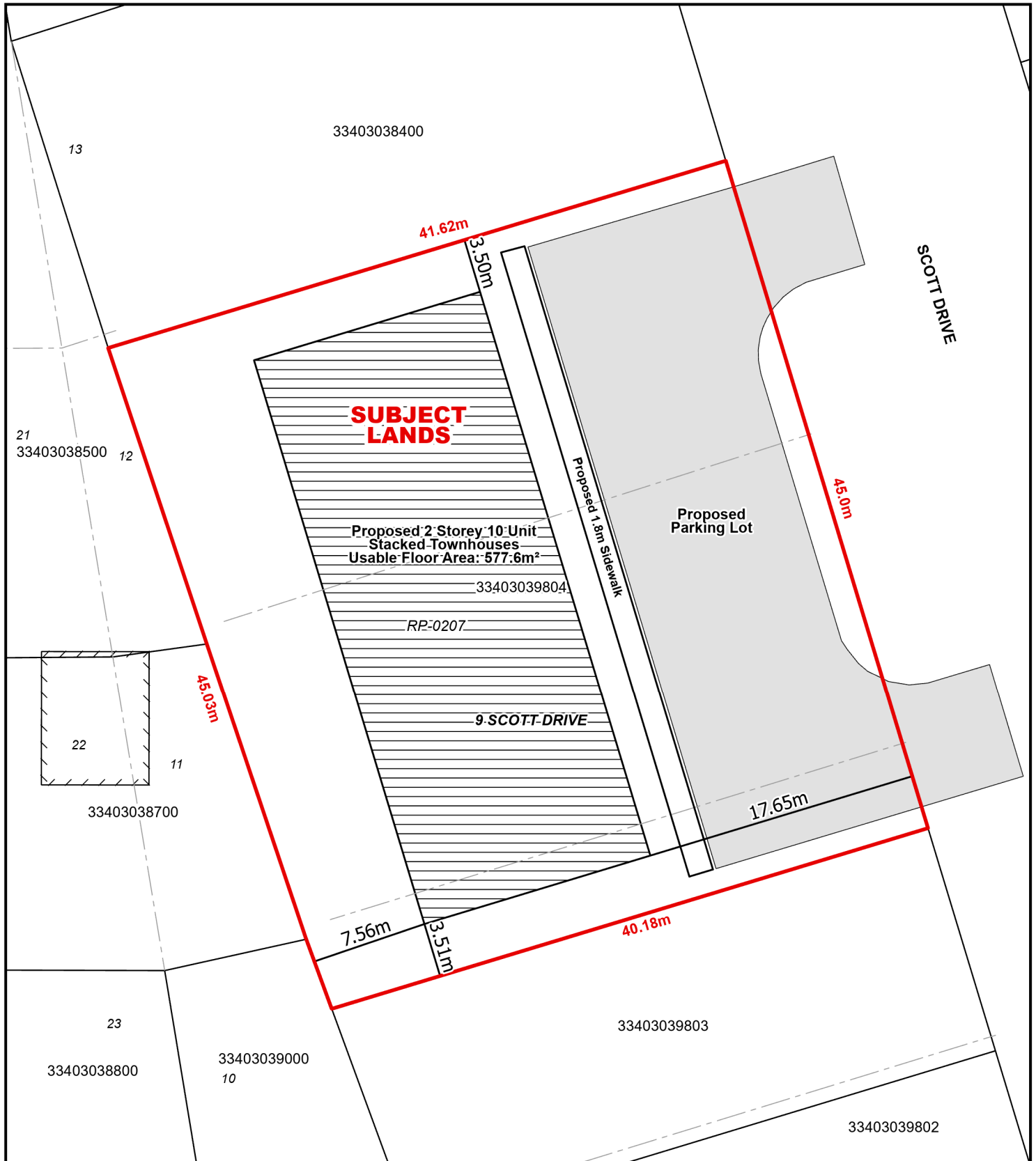
7.5 3.75 0 7.5 15 22.5 30 Meters

 Subject Lands



A horizontal scale bar with tick marks at 2.5, 1.25, 0, 2.5, 5, 7.5, and 10 meters. The bar is black with white tick marks and labels. The word "Meters" is at the right end.

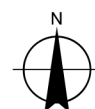
CONCEPTUAL PLAN Urban Area of PORT DOVER



Legend

Subject Lands

7/17/2025



2.5 1.25 0 2.5 5 7.5 10 Meters