



LANDPRO
PLANNING SOLUTIONS

LandPro Planning Solutions Inc.
110 James St., Suite 204 28 Colborne St. N.
St. Catharines, ON L2R 7E8 Simcoe, ON, N3Y 3T9

October 15, 2025

Attn: Alisha Cull
Planning Department
185 Robinson Street
Simcoe, ON N3Y 5L6

Email: Alisha.cull@norfolkcounty.ca

Re: **Zoning By-Law Amendment Application**
PDOV PLAN 207 RWY PT LOT 19, Port Dover (No Civic Address)
Norfolk County

LandPro Planning Solutions Inc. ("Agent") has been retained by Fergco Investment Management Inc. ("Owner") c/o Mr. Paul Breedyk ("Applicant") to assist in a rezoning of PDOV PLAN 207 RWY PT LOT 19, Port Dover, from Residential 1-A (R1) to Residential 4 (R4) in order to build four (4) street townhouses.

This letter introduces the submission of these applications which comprises of the following:

1. Zoning By-Law Amendment Application Form
2. Survey (Orchard Design Studio Inc., August 2025)
3. Planning Justification Brief (LandPro Planning Solutions Inc., October 2025)
4. Pre-consultation Meeting Notes (June 2025)
5. Traffic Brief (Asurza, September 2025)
6. Site Servicing and Grading Plan (Balan Engineering, October 2025)
7. Functional Servicing Brief (Balan Engineering, October 2025)
8. Associated Application fee(s) (client to pay directly to County)

We trust this submission fulfills the County's requirements for a complete application and look forward to receiving confirmation of the same.

You are welcome to call our office at 289-680-5189 or by email at ebrodeur@landproplan.ca with any questions or concerns.

Sincerely,

LANDPRO PLANNING SOLUTIONS Inc.

Emilie Brodeur

Emilie Brodeur
Planner



289-680-5189



ebrodeur@landproplan.ca



landproplan.ca

Michael Sullivan

Michael Sullivan, M.Pl., RPP, MCIP
President | Founder



289-687-3730



mike@landproplan.ca



landproplan.ca

Planning Department Development Application Form

Complete Application

A complete development application consists of the following:

1. A completed, signed, and notarized application form
2. Supporting information adequate to illustrate your proposal as indicated in **Section H** of this application form
3. Written authorization from the registered owner of the subject lands where the applicant is not the owner as per Section N
4. Cash, debit, credit or cheque payable to Norfolk County in the amount set out in the user fees By-Law that will be accepted and deposited once the application has been deemed complete.

Pre-Submission Consultation:

Norfolk County requires a Pre-Consultation Meeting for all applications; however, minor applications may be exempted depending on the nature of the proposal. The purpose of a Pre-Consultation Meeting is to provide the applicant with an opportunity to present the proposed application, discuss potential issues, and for the Norfolk County and Agency staff to identify the application requirements. Application requirements, as detailed in the Pre-Consultation Meeting Comments, are valid for one year after the meeting date.

Development Application Process

Once an application has been deemed complete by a Planner, Norfolk County staff will circulate the application to adjacent landowners, public agencies, and internal departments for comment. The time involved in application processing varies depending on its complexity, acceptability to the other agencies, and statutory Planning Act decision time-frames.

Payment is required once your application is deemed complete. Pre-payments will not be accepted.

Norfolk County collects personal information submitted through this form under the Municipal Freedom of Information and Protection Act's authority. Norfolk County will use this information for the purposes indicated or implied by this form. You can direct questions about collecting personal information to Norfolk GIS Services at NorfolkGIS@norfolkcounty.ca.

Additional studies required for the complete application shall be at the applicant's sole expense. Sometimes, peer reviews may be necessary to review particular studies at the applicant's expense. In these cases, Norfolk County staff will select the company to complete the peer review.

Norfolk County will refund the original fee if applicants withdraw their applications before circulation. If Norfolk County must recirculate your drawings, there will be an additional fee. If Norfolk County must do more than three reviews of engineering drawings due to revisions by the owner or failure to revise engineering drawings as requested, Norfolk County will charge an additional fee. Full refunds are only available before Norfolk County has circulated the application.

Notification Sign Requirements

For public notification, Norfolk County will provide you with a sign to indicate the intent and purpose of your development application. It is your responsibility to:

1. Post one sign per frontage in a conspicuous location on the subject lands.
2. Ensure one sign is posted at the front of the subject lands at least three feet above ground level and not on a tree.
3. Notify the Planner when the sign is in place.
4. Maintain the sign until the development application is finalized and, after that, remove it.

Contact Us

For additional information or assistance completing this application, please contact a Planner at 519-426-5870 or 519-875-4485 extension 1842 or planning@norfolkcounty.ca. Please submit the completed application and fees to the attention of the Planning Department at 185 Robinson Street, Suite 200, Simcoe, ON N3Y 5L6.

For Office Use Only:

File Number	_____	Public Notice Sign	_____
Related File Number	_____	Application Fee	_____
Pre-consultation Meeting	_____	Conservation Authority Fee	_____
Application Submitted	_____	Well & Septic Info Provided	_____
Complete Application	_____	Planner	_____

Check the type of planning application(s) you are submitting.

- ☐ Official Plan Amendment
- ☒ Zoning By-Law Amendment
- ☐ Temporary Use By-law
- ☐ Draft Plan of Subdivision/Vacant Land Condominium
- ☐ Condominium Exemption
- ☐ Site Plan Application
- ☐ Extension of a Temporary Use By-law
- ☐ Part Lot Control
- ☐ Cash-in-Lieu of Parking
- ☐ Renewable Energy Project or Radio Communication Tower

Please summarize the desired result of this application (for example, a special zoning provision on the subject lands to include additional use(s), changing the zone or official plan designation of the subject lands, creating a certain number of lots, or similar)

The proposed application intends to rezone Lot 19 on St. George Street, Port Dover from R1-A to R4.

Property Assessment Roll Number: 33402005460

A. Applicant Information

Name of Owner Fergco Investments Management Inc.

Address 354 Franklin Blvd

Town and Postal Code Cambridge N1R 8G5

Phone Number _____

Cell Number 519-244-7963

Email mferguson@dfsprojects.com

Name of Applicant Breedyk Homes c/o Paul Breedyk

Address 605 Lynn Valley Road

Town and Postal Code Port Dover, N0A 1N2

Phone Number _____

Cell Number 519-410-8122

Email Breedyk@hotmail.com

Name of Agent LandPRO Planning Solutions

Address 204 - 110 James Street

Town and Postal Code St. Catharines, L2R 7E8

Phone Number 289-687-3730

Cell Number 289-680-5189

Email ebrodeur@landproplan.ca

Unless otherwise directed, Norfolk County will forward all correspondence and notices regarding this application to both owner and agent noted above.

☐ Owner

☒ Agent

☒ Applicant

Names and addresses of any holder of any mortgagees, charges or other encumbrances on the subject lands:

n/a

B. Location, Legal Description and Property Information

1. Legal Description (include Geographic Township, Concession Number, Lot Number, Block Number and Urban Area or Hamlet):

PDOV PLAN 207 RWY PT LOT 19

Municipal Civic Address: Unaddress

Present Official Plan Designation(s): Urban Residential

Present Zoning: R1-A

2. Is there a special provision or site specific zone on the subject lands?

☐ Yes ☒ No If yes, please specify corresponding number:

3. Present use of the subject lands:

Vacant

4. Please describe **all existing** buildings or structures on the subject lands and whether they will be retained, demolished or removed. If retaining the buildings or structures, please describe the type of buildings or structures, and illustrate the setback, in metric units, from the front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:
-
-

5. If an addition to an existing building is being proposed, please explain what it will be used for (for example: bedroom, kitchen, or bathroom). If new fixtures are proposed, please describe.
-
-

6. Please describe **all proposed** buildings or structures/additions on the subject lands. Describe the type of buildings or structures/additions, and illustrate the setback, in metric units, from front, rear and side lot lines, ground floor area, gross floor area, lot coverage, number of storeys, width, length, and height on your attached sketch which must be included with your application:
-

Four (4) Street Townhouses

7. Are any existing buildings on the subject lands designated under the *Ontario Heritage Act* as being architecturally and/or historically significant? Yes ☐ No ☒

If yes, identify and provide details of the building:

8. If known, the length of time the existing uses have continued on the subject lands:

9. Existing use of abutting properties:

Residential

10. Are there any easements or restrictive covenants affecting the subject lands?

☐ Yes ☒ No If yes, describe the easement or restrictive covenant and its effect:

C. Purpose of Development Application

Note: Please complete all that apply.

1. Please explain what you propose to do on the subject lands/premises which makes this development application necessary:

We would like to rezone to be able to develop four street townhouses

2. Please explain why it is not possible to comply with the provision(s) of the Zoning By-law/and or Official Plan:

R1-A does not permit Street Townhouses

3. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or implement a new area of settlement in the municipality? ☐ Yes ☒ No If yes, describe its effect:

4. Does the requested amendment remove the subject land from an area of employment? ☐ Yes ☒ No If yes, describe its effect:

5. Does the requested amendment alter, replace, or delete a policy of the Official Plan?
☐ Yes ☒ No If yes, identify the policy, and also include a proposed text of the policy amendment (if additional space is required, please attach a separate sheet):

6. Description of land intended to be severed in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Proposed final lot size (if boundary adjustment): _____

If a boundary adjustment, identify the assessment roll number and property owner of the lands to which the parcel will be added: _____

Description of land intended to be retained in metric units:

Frontage: _____

Depth: _____

Width: _____

Lot Area: _____

Present Use: _____

Proposed Use: _____

Buildings on retained land: _____

7. Description of proposed right-of-way/easement:

Frontage: _____

Depth: _____

Width: _____

Area: _____

Proposed use: _____

8. Name of person(s), if known, to whom lands or interest in lands to be transferred, leased or charged (if known):

9. Site Information**Zoning****Proposed**

Please indicate unit of measurement, for example: m, m² or %

Lot frontage	6.50m	6.50m
Lot depth		
Lot width		
Lot area	156sqm	END: 496.17m2 INT: 375.65m2
Lot coverage		
Front yard	6m	10.12m
Rear yard	7.5m	21.56m
Left Interior side yard	1.2m	1.94m
Right Interior side yard	1.2m	1.94m
Exterior side yard (corner lot)	6m	n/a
Landscaped open space	50% (110.19m2)	58.78% (129.54m2)
Entrance access width		
Exit access width		
Size of fencing or screening		
Type of fencing		

10. Building Size

Number of storeys		
Building height	11 m	9.50m
Total ground floor area		
Total gross floor area		
Total useable floor area		

11. Off Street Parking and Loading Facilities

Number of off street parking spaces	2 per unit	2 per unit
Number of visitor parking spaces		
Number of accessible parking spaces		
Number of off street loading facilities		

12. Residential (if applicable)

Number of buildings existing: 0

Number of buildings proposed: 4 townhouse units

Is this a conversion or addition to an existing building? ☐ Yes ☒ No

If yes, describe: _____

Type	Number of Units	Floor Area per Unit in m2
Single Detached	_____	_____
Semi-Detached	_____	_____
Duplex	_____	_____
Triplex	_____	_____
Four-plex	_____	_____
Street Townhouse	4	178m2 interior / 180m2 exterior
Stacked Townhouse	_____	_____
Apartment - Bachelor	_____	_____
Apartment - One bedroom	_____	_____
Apartment - Two bedroom	_____	_____
Apartment - Three bedroom	_____	_____

Other facilities provided (for example: play facilities, underground parking, games room, or swimming pool):

13. Commercial/Industrial Uses (if applicable)

Number of buildings existing: _____

Number of buildings proposed: _____

Is this a conversion or addition to an existing building? ☐ Yes ☐ No

If yes, describe:

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

Seating Capacity (for assembly halls or similar): _____

Total number of fixed seats: _____

Describe the type of business(es) proposed: _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Is open storage required: ☐ Yes ☐ No

Is a residential use proposed as part of, or accessory to commercial/industrial use?

☐ Yes ☐ No If yes please describe:

14. Institutional (if applicable)

Describe the type of use proposed: _____

Seating capacity (if applicable): _____

Number of beds (if applicable): _____

Total number of staff proposed initially: _____

Total number of staff proposed in five years: _____

Maximum number of staff on the largest shift: _____

Indicate the gross floor area by the type of use (for example: office, retail, or storage):

15. Describe Recreational or Other Use(s) (if applicable)

D. Previous Use of the Property

1. Has there been an industrial or commercial use on the subject lands or adjacent lands? ☒ Yes ☐ No ☐ Unknown

If yes, specify the uses (for example: gas station or petroleum storage):

Historically a railway Corridor

2. Is there reason to believe the subject lands may have been contaminated by former uses on the site or adjacent sites? ☐ Yes ☒ No ☐ Unknown
3. Provide the information you used to determine the answers to the above questions:

no ESA was required.

4. If you answered yes to any of the above questions in Section D, a previous use inventory showing all known former uses of the subject lands, or if appropriate, the adjacent lands, is needed. Is the previous use inventory attached? ☐ Yes ☒ No

E. Provincial Policy

1. Is the requested amendment consistent with the provincial policy statements issued under subsection 3(1) of the *Planning Act, R.S.O. 1990, c. P. 13*? ☒ Yes ☐ No

If no, please explain:

2. It is owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws or other agency approvals, including the Endangered Species Act, 2007. Have the subject lands been screened to ensure that development or site alteration will not have any impact on the habitat for endangered or threatened species further to the provincial policy statement subsection 2.1.7? ☒ Yes ☐ No

If no, please explain:

3. Have the subject lands been screened to ensure that development or site alteration will not have any impact on source water protection? ☒ Yes ☐ No

If no, please explain:

Note: If in an area of source water Wellhead Protection Area (WHPA) A, B or C please attach relevant information and approved mitigation measures from the Risk Manager Official.

4. Are any of the following uses or features on the subject lands or within 500 metres of the subject lands, unless otherwise specified? Please check boxes, if applicable.

Livestock facility or stockyard (submit MDS Calculation with application)

☐ On the subject lands or ☐ within 500 meters – distance _____

Wooded area

☐ On the subject lands or ☐ within 500 meters – distance _____

Municipal Landfill

☐ On the subject lands or ☐ within 500 meters – distance _____

Sewage treatment plant or waste stabilization plant

☐ On the subject lands or ☐ within 500 meters – distance _____

Provincially significant wetland (class 1, 2 or 3) or other environmental feature

☐ On the subject lands or ☒ within 500 meters – distance approx. 480m

Floodplain

☐ On the subject lands or ☐ within 500 meters – distance _____

Rehabilitated mine site

☐ On the subject lands or ☐ within 500 meters – distance _____

Non-operating mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Active mine site within one kilometre

☐ On the subject lands or ☐ within 500 meters – distance _____

Industrial or commercial use (specify the use(s))

☐ On the subject lands or ☐ within 500 meters – distance _____

Active railway line

☐ On the subject lands or ☐ within 500 meters – distance _____

Seasonal wetness of lands

☐ On the subject lands or ☐ within 500 meters – distance _____

Erosion

☐ On the subject lands or ☐ within 500 meters – distance _____

Abandoned gas wells

☐ On the subject lands or ☐ within 500 meters – distance _____

F. Servicing and Access

1. Indicate what services are available or proposed:

Water Supply

☒ Municipal piped water

☐ Communal wells

☐ Individual wells

☐ Other (describe below)

Sewage Treatment

☒ Municipal sewers

☐ Communal system

☐ Septic tank and tile bed in good working order

☐ Other (describe below)

Storm Drainage

☒ Storm sewers

☐ Open ditches

☐ Other (describe below)

2. Existing or proposed access to subject lands:

☒ Municipal road

☐ Provincial highway

☐ Unopened road

☐ Other (describe below)

Name of road/street: _____

G. Other Information

1. Does the application involve a local business? ☐ Yes ☒ No

If yes, how many people are employed on the subject lands?

2. Is there any other information that you think may be useful in the review of this application? If so, explain below or attach on a separate page.
-

Please refer to Planning Report

H. Supporting Material to be submitted by Applicant

In order for your application to be considered complete, **folded** hard copies (number of paper copies as directed by the planner) and an **electronic version (PDF) of the properly named site plan drawings, additional plans, studies and reports** will be required, including but not limited to the following details:

1. Concept/Layout Plan
2. All measurements in metric
3. Key map
4. Scale, legend and north arrow
5. Legal description and municipal address
6. Development name
7. Drawing title, number, original date and revision dates
8. Owner's name, address and telephone number
9. Engineer's name, address and telephone number
10. Professional engineer's stamp
11. Existing and proposed easements and right of ways
12. Zoning compliance table – required versus proposed
13. Parking space totals – required and proposed
14. All entrances to parking areas marked with directional arrows
15. Loading spaces, facilities and routes (for commercial developments)
16. All dimensions of the subject lands
17. Dimensions and setbacks of all buildings and structures
18. Location and setbacks of septic system and well from all existing and proposed lot lines, and all existing and proposed structures
19. Gross, ground and useable floor area
20. Lot coverage
21. Floor area ratio
22. Building entrances, building type, height, grades and extent of overhangs
23. Names, dimensions and location of adjacent streets including daylighting triangles
24. Driveways, curbs, drop curbs, pavement markings, widths, radii and traffic directional signs
25. All exterior stairways and ramps with dimensions and setbacks
26. Retaining walls including materials proposed
27. Fire access and routes
28. Location, dimensions and number of parking spaces (including visitor and accessible) and drive aisles
29. Location of mechanical room, and other building services (e.g. A/C, HRV)
30. Refuse disposal and storage areas including any related screening (if indoors, need notation on site plan)
31. Winter snow storage location

32. Landscape areas with dimensions
33. Natural features, watercourses and trees
34. Fire hydrants and utilities location
35. Fencing, screening and buffering – size, type and location
36. All hard surface materials
37. Light standards and wall mounted lights (plus a note on the site plan that all outdoor lighting is to be dark sky compliant)
38. Business signs (make sure they are not in sight lines)
39. Sidewalks and walkways with dimensions
40. Pedestrian access routes into site and around site
41. Bicycle parking
42. Architectural elevations of all building sides
43. All other requirements as per the pre-consultation meeting

In addition, the following additional plans, studies and reports, including but not limited to, **may** also be required as part of the complete application submission:

- ☐ Zoning Deficiency Form
- ☐ On-Site Sewage Disposal System Evaluation Form (to verify location and condition)
- ☐ Architectural Plan
- ☐ Buildings Elevation Plan
- ☐ Cut and Fill Plan
- ☐ Erosion and Sediment Control Plan
- ☐ Grading and Drainage Control Plan (around perimeter and within site) (existing and proposed)
- ☐ Landscape Plan
- ☐ Photometric (Lighting) Plan
- ☐ Plan and Profile Drawings
- ☐ Site Servicing Plan
- ☐ Storm water Management Plan
- ☐ Street Sign and Traffic Plan
- ☐ Street Tree Planting Plan
- ☐ Tree Preservation Plan
- ☐ Archaeological Assessment
- ☐ Environmental Impact Study

- ☐ Functional Servicing Report
- ☐ Geotechnical Study / Hydrogeological Review
- ☐ Minimum Distance Separation Schedule
- ☐ Noise or Vibration Study
- ☐ Record of Site Condition
- ☐ Storm water Management Report
- ☐ Traffic Impact Study – please contact the Planner to verify the scope required

Site Plan applications will require the following supporting materials:

1. Two (2) complete sets of the site plan drawings folded to 8½ x 11 and an electronic version in PDF format
2. Letter requesting that the Holding be removed (if applicable)
3. A cost estimate prepared by the applicant's engineer
4. An estimate for Parkland dedication by a certified land appraiser
5. Property Identification Number (PIN) printout

Standard condominium exemptions will require the following supporting materials:

- ☐ Plan of standard condominium (2 paper copies and 1 electronic copy)
- ☐ Draft condominium declaration
- ☐ Property Identification Number (PIN) printout

Your development approval might also be dependent on other relevant federal or provincial legislation, municipal by-laws or other agency approvals.

All final plans must include the owner's signature as well as the engineer's signature and seal.

I. Development Agreements

A development agreement may be required prior to site plan approval, subdivision and condominium applications. Should this be necessary for your development, you will be contacted by the agreement administrator with further details of the requirements including but not limited to insurance coverage, professional liability for your engineer, additional fees and securities.

J. Transfers, Easements and Postponement of Interest

The owner acknowledges and agrees that if required, it is their solicitor's responsibility on behalf of the owner, to disclose the registration of all transfer(s) of land and/or easement in favour of the County and/or utilities. Also, the owner further acknowledges and agrees that it is their solicitor's responsibility on behalf of the owner for the registration of postponements of any charges in favour of the County.

K. Permission to Enter Subject Lands

Permission is hereby granted to Norfolk County officers, employees or agents, to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

L. Freedom of Information

For the purposes of the *Municipal Freedom of Information and Protection of Privacy Act*, I authorize and consent to the use by or the disclosure to any person or public body any information that is collected under the authority of the *Planning Act, R.S.O. 1990, c. P. 13* for the purposes of processing this application.

Paul Breedyk
X Owner/Applicant Signature

Oct 2/25
X Date

M. Owner's Authorization

If the applicant/agent is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We Paul Breedyk am/are the registered owner(s) of the lands that is the subject of this application.

I/We authorize LandPro Planning Solutions Inc. to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Paul Breedyk
X Owner

Oct 2/25
X Date

Owner

Date

N. Declaration

I, Paul Breedyk of Breedyk Homes Ltd.

solemnly declare that:

all of the above statements and the statements contained in all of the exhibits transmitted herewith are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of *The Canada Evidence Act*.

Declared before me at:

St. Catharines

[Signature]
Owner/Applicant Signature

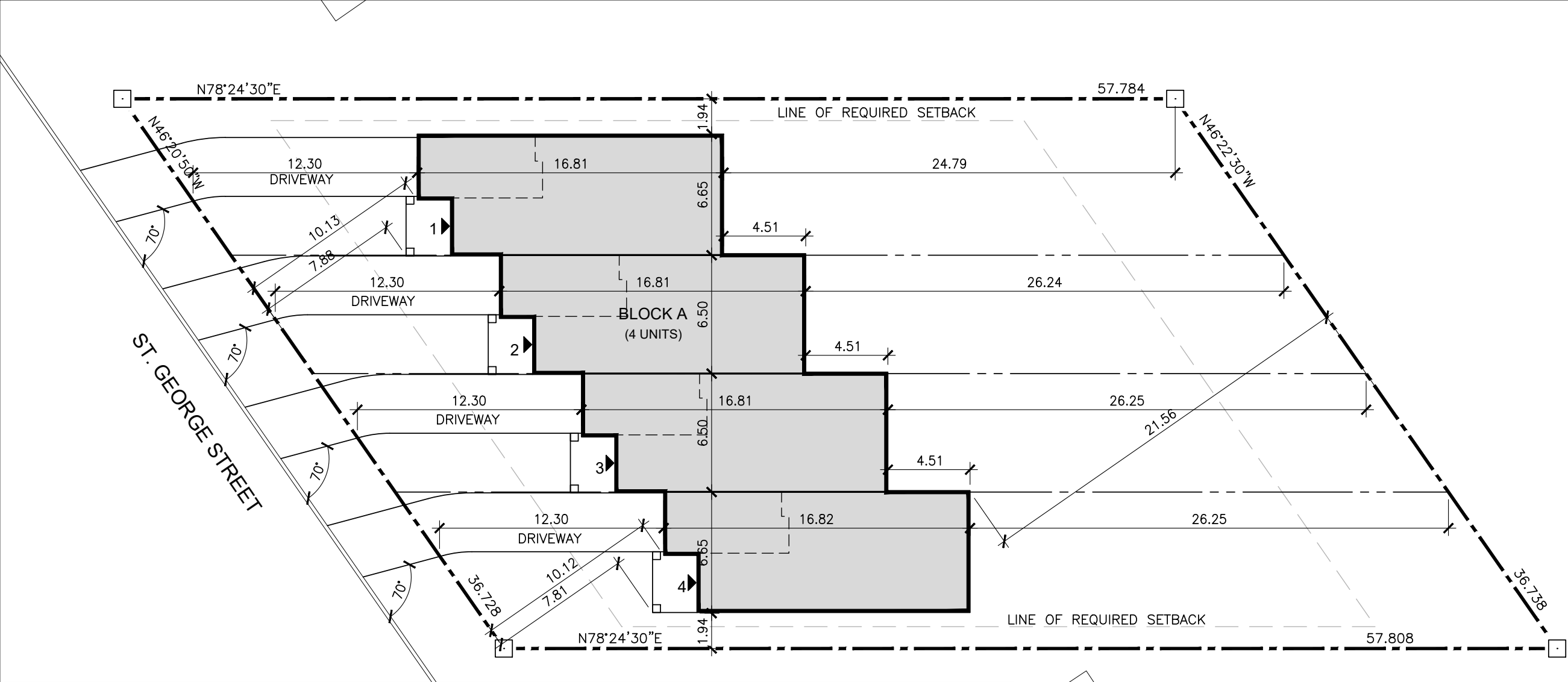
In Region of Niagara

This 2nd day of October

A.D., 20 25

[Signature]
A Commissioner, etc.

CAROLE IDA SULLIVAN
a Commissioner, etc., Province of Ontario,
for LandPro Planning Solutions Inc.,
and limited to process serving only.
Expires July 17, 2024.



ZONING BY-LAW R1-A (EXISTING) R-4 (PROPOSED)

4 UNIT (21') TOWNHOUSE BLOCK




REGULATION	REQUIRED	PROPOSED	
LOT AREA (MINIMUM)	156.00 m2	END: 496.17 m2	INT.: 375.65 m2
LOT FRONTAGE (MIN. PER UNIT)	6.50 m	6.50 m	
FRONT YARD (MINIMUM)	6.00 m	10.12 m	
SIDE YARD - EXTERIOR (MINIMUM)	6.00 m	N/A	
SIDE YARD - INTERIOR (MINIMUM)	1.20 m	1.94 m	
REAR YARD (MINIMUM)	7.50 m	21.56 m	
BUILDING HEIGHT (MAXIMUM)	11.00 m	9.50 m	
SEPARATION BETWEEN BLOCKS (MIN.)	2.00 m	N/A	
SETBACK FROM MUTUAL SIDE LOT LINE	JOINED: 0.00 m	0.00 m	
	UNJOINED: 1.20 m	N/A	
NUMBER OF UNITS PER BLOCK (MAX)	8	4	
LANDSCAPED FRONT YARD (MIN.)	50% (110.19 m2)	58.78% (129.54 m2)	

* DENOTES VARIANCE REQUIRED

UNIT SCHEDULE

UNIT TYPE	NUMBER OF BEDROOMS	NUMBER OF TOTAL UNITS
INTERIOR UNIT	3	2
END UNIT	3	2

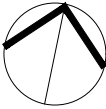
LEGEND

IRON BAR	
PROPERTY LINE	
MAN DOOR ENTRANCE / EXIT.	

EXISTING
RESIDENTIAL

North Arrow

True North:



Designer Information

I, COREY WEHRLE review and take responsibility for the design work on behalf of Orchard Design Studio Incorporated registered under Firm BCIN: 28615



Signature

Individual BCIN: 37253

Project Information

BREEDYK HOMES

ST GEORGE STREET TOWNS
PORT DOVER, ON

Set Issuance

No.	Date	Description
1	2025-08-28	ISSUED TO CITY

Sheet Information

SITE PLAN
OPTION 2

Project No. 15962
Project Start Date: 2025-08-13
File: St George Street - Site Plan3.dwg
Drawn by: JP
Scale: 1:250

PRELIMINARY

A1.01

Plot Date | Time - 9/24/2025 9:26:40 AM



LANDPRO
PLANNING SOLUTIONS

LandPro Planning Solutions Inc.

204 -110 James Street
St. Catharines, ON L7R 7E8

PLANNING JUSTIFICATION REPORT

ZONING BY-LAW AMENDMENT



St. George Street (LOT 19)

Port Dover, ON

October 2025

Prepared For:

Fergco Investments c/o Paul Breedyk

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1 INTRODUCTION

LandPro Planning Solutions Inc. (LandPro) has been retained by the property owner, Fergco Investments c/o Paul Breedyk, to provide land planning services in support of a proposed Zoning By-Law Amendment.

The property is a vacant lot located in an Urban Area in the City of Port Dover; legally described as PDOV PLAN 207 RWY PT LOT 19, in the community of Port Dover, Norfolk County.

1.1 PURPOSE

The purpose of this report is to justify the proposed Zoning By-Law Amendment application, which will create four (4) street townhouses in an already established residential neighbourhood on St. George Street, Port Dover.

This report will demonstrate that this application is appropriate and is considered good planning.

2 SITE CONTEXT

The subject property is located within the community of Port Dover, in the County of Norfolk, with frontage onto St. George Street at its Southern boundary line.

See property location shown in **Figure 1** below.

Figure 1: Property Location



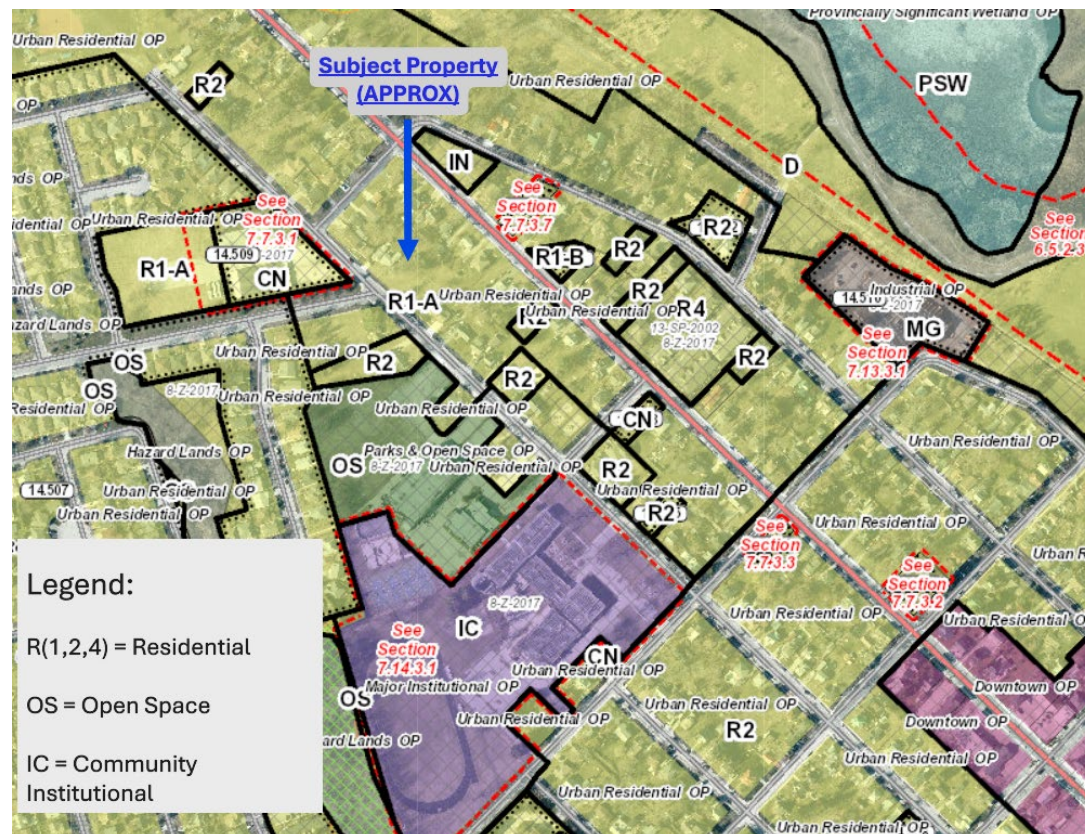
2.1 LAND USE CONTEXT

The subject lands are currently vacant and located within an established residential neighbourhood. Historically the subject land was used as a railway corridor, the lands have already been disturbed and are now intended to be developed for residential purposes as an urban infill project.

The surrounding land uses are as follows:

NORTH	Residential / Provincial Significant Wetland (PSW)
EAST	Residential / Community Institutional / Open Space
SOUTH	Residential / Open Space
WEST	Residential

Figure 2: Surrounding Uses



2.2 PROPERTY DIMENSIONS & PHYSICAL ATTRIBUTES

Table 1 – Existing Property Dimensions

The subject property fronts onto St George Street. The existing property dimensions are presented in **Table 1**.

The property is vacant.

Side Road 20	
Lot Frontage	Approx. 37 m
Lot Depth	Approx. 58 m
Lot Area	Approx. 2,123 m ²

3 THE PROPOSED DEVELOPMENT

The application is for a Zoning By-Law Amendment which would create four (4) Street Townhouses in an established residential neighbourhood. The current lot is vacant. Please see **Figure 3** for the site plan. A larger version of this image accompanies the application.

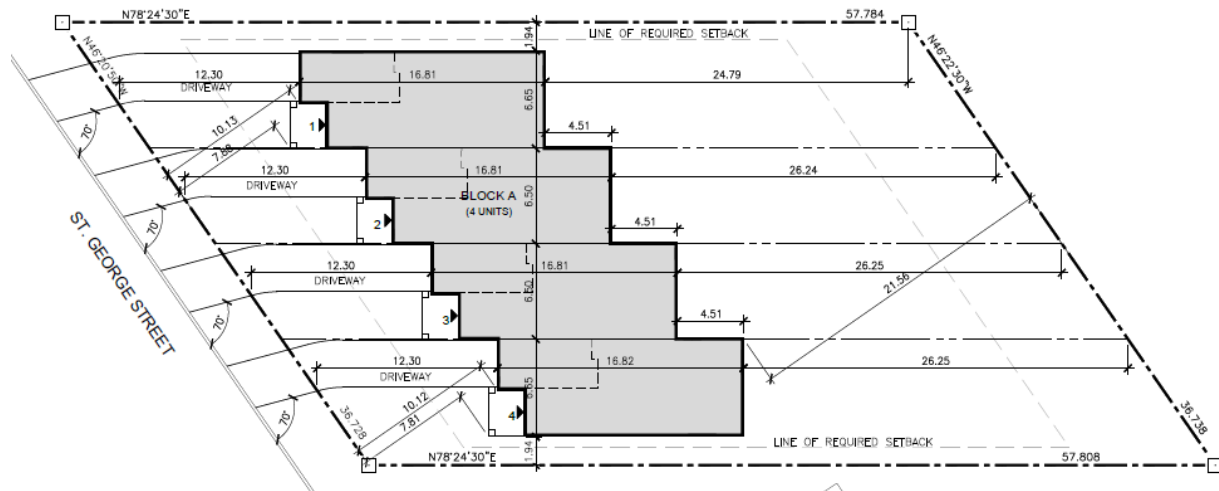
3.1 PRE-CONSULTATION

A Pre-Consultation meeting was held on June 25, 2025, where the County and associated agencies provided their comments on the proposal. Complete application requirements were also identified, which included:

Table 2 – Requirements for Complete Application

Concept Plan	Building Elevations
Survey	Planning Justification Report
General Plan of Services	Lot Grading Plan
Siltation and Erosion Control Plan	Functional Servicing Brief

Figure 3: Proposed Site Plan



4. LAND USE PLANNING FRAMEWORK

In preparing this application, several policy and regulatory documents were reviewed that need to be addressed to demonstrate good planning. They include the following:

1. Planning Act, R.S.O 1990 c.P.13;
2. Provincial Planning Statement, 2024;
3. Norfolk County Official Plan, 2023;
4. Lakeshore Special Policy Area Secondary Plan, 2009;
5. Norfolk County Zoning By-Law No. 1-Z-2014.

The proposed development was assessed against these regulations and associated policies. A detailed review is below.

4.1 PLANNING ACT, R.S.O 1990 c.P.13

The *Planning Act* is provincial legislation and provides the basis for land use planning in Ontario, identifying tools for managing how, where and when land use changes occur.

The matters of Provincial Interest are outlined in **Section 2** of the *Act*. This application has regard for the following matters:

Table 3: Planning Act – Section 2

Planning Act - Section 2 excerpts	LandPro Response
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(a) The protection of ecological systems, including natural areas, features and functions;	The subject lands were previously disturbed and were historically used as a railway corridor. The proposed development avoids impacting any natural areas or ecological features, and no significant environmental constraints have been identified on site. Utilizing this disturbed parcel for infill development preserves surrounding natural and ecological systems by redirecting growth to already urbanized lands.
(b) the protection of the agricultural resources of the Province;	The subject property is located within a designated Urban Area and not within or adjacent to agricultural lands. Development in this location supports the protection of agricultural resources by minimizing the pressure to expand urban boundaries into rural or prime agricultural areas.
e) the supply, efficient use and conservation of energy and water;	The proposed development represents an efficient use of urban land and existing infrastructure. The compact built form of the four street townhouses reduces land consumption and enables efficient utility servicing. Municipal water services will be utilized, and energy use will be consistent with new energy efficiency standards for residential development, promoting long term conservation.
f) the adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems;	The development will be serviced by existing municipal infrastructure, including water and sanitary services, which ensure efficient use of existing systems. Waste collection will be managed through Norfolk County's existing waste management program. The site's location along St. George Street allows for efficient vehicular and pedestrian access, aligning with local transportation plans.
g) the minimization of waste;	As a small-scale infill development within an urban boundary, the project supports waste minimization by avoiding urban sprawl and optimizing land that has already been disturbed (former railway corridor). Construction will follow current building practices and codes that support material efficiency and reduce construction related waste.
h) the orderly development of safe and healthy communities;	The proposal contributes to the orderly development of the area by introducing compatible low-density housing within an established residential neighbourhood. The design and layout promote safety through appropriate street frontage, visibility, and integration with the surrounding community. Redeveloping a previously unused site into housing also strengthens the neighbourhood's overall cohesion and vitality.
j) the adequate provision of a full range of housing, including affordable housing;	The four townhouse units offer an alternative housing form that contributes to the diversity of housing stock in Port Dover. While not specifically targeted as affordable housing the compact form and shared wall design may result in lower purchase or rental prices compared to detached dwellings, thereby supporting a broader range of housing needs in the community.
p) the appropriate location of growth and development	The subject property is located within the Urban Area of Port Dover, a designated settlement area in the County of Norfolk, where growth and development are directed. This infill development leverages existing infrastructure, supports efficient land use, and aligns with the Province's

	intensification objectives. The proposal represents a logical and appropriate use of underutilized urban land, reinforcing the goals of compact, sustainable growth.
(r) the promotion of built form that, (i) is well-designed, (ii) encourages a sense of place, and (iii) provides for public spaces that are of high quality, safe, accessible, attractive, and vibrant;	The proposed townhouses will be designed to fit into the existing residential context and support a cohesive streetscape. The development will introduce well designed built form along St. George Street, encouraging a stronger sense of place and enhancing the visual and functional quality of the neighbourhood through appropriate infill.

This application has regard for the *Planning Act*.

4.2 PROVINCIAL PLANNING STATEMENT (PPS), 2024

The Provincial Planning Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. As a key part of Ontario’s policy-led planning system, the Provincial Planning Statement sets the policy foundation for regulating the development and use of land province-wide, helping achieve the provincial goal of meeting the needs of a fast-growing province while enhancing the quality of life for all Ontarians.

The subject property is located within a settlement area, specifically within the urban area of Port Dover and the PPS directs that “settlement areas shall be the focus of growth and development”. The following sections of the PPS 2024 are most relevant to the proposed infill townhouse development.

The following policies apply to the proposed development: 2.1 (Housing); 2.3 (Growth in settlement areas); 2.5 (Rural communities).

Section 2 of the PPS, Building Homes and Sustaining Strong and Competitive Communities, directs municipalities to provide an appropriate range and mix of housing options (Policy 2.1.4), support the development of complete communities by accommodating a variety of land uses and housing options (Policy 2.1.6), and permit and facilitate all forms of housing (Policy 2.2.1.b).

Further, Section 2 directs that settlement areas shall be the focus of growth and development (2.3.1.1) and requires municipalities to support general intensification and redevelopment to achieve complete communities, including planning for a range and mix of housing options (2.3.1.3).

The proposed residential development is located within the Urban Area of Port Dover; a designated settlement area the PPS directs to be the focus of growth and development. The proposal contributes to the City’s range and mix of housing options. Situated in the municipality’s most populous hamlet, the development is compatible with the surrounding character.

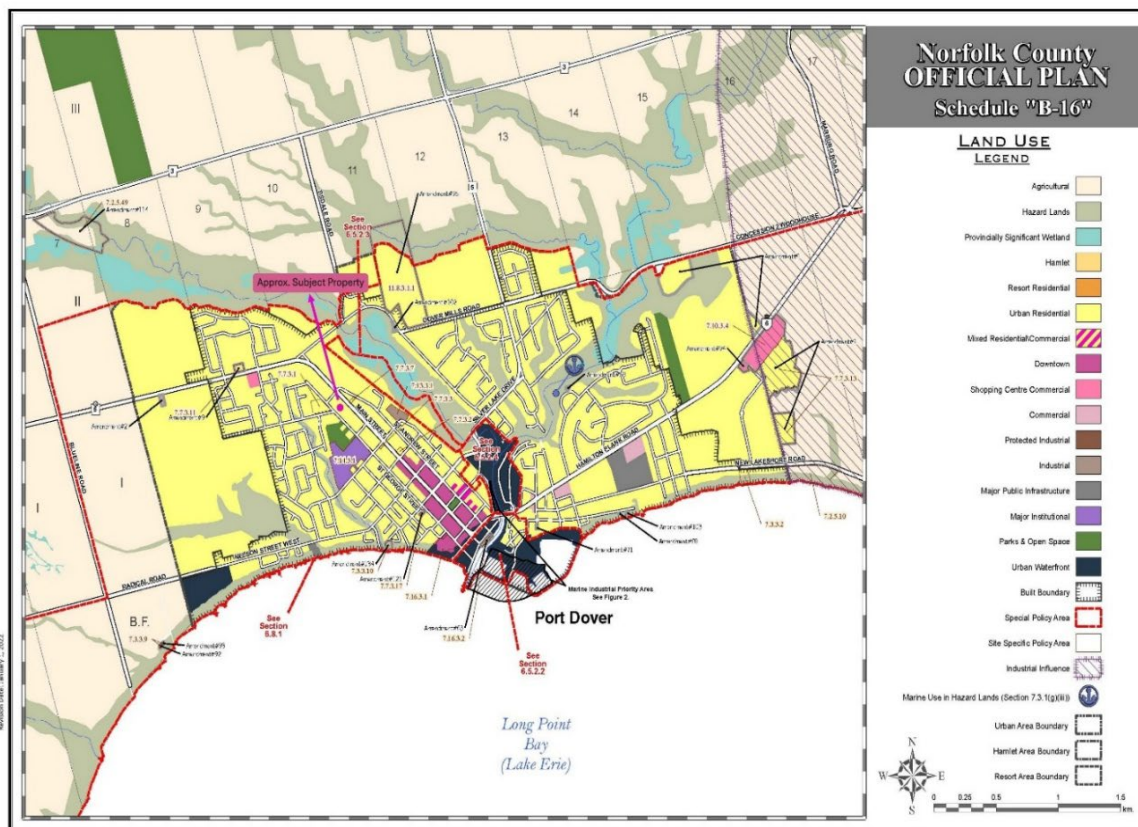
This application is consistent with the Provincial Planning Statement, 2024.

4.3 NORFOLK COUNTY OFFICIAL PLAN, 2023

The Norfolk County Official Plan (NCOP) establishes a long-term vision to guide growth and development in the County over a planning period of more than 20 years. It establishes objectives and policies to guide land use planning, support economic vitality, protect the natural and cultural environment, preserve agricultural lands, and promote the efficient use of infrastructure and public services.

This application proposes residential development within the urban settlement area of Port Dover. The subject lands are designated as **Urban Residential** and are located within an already established neighborhood, refer to **Figure 4**. Port Dover is identified as a Secondary Urban Area in Section 6.5.2 of the NCOP, where the County intends to direct a significant share of future population and housing growth. The Official Plan encourages strategic intensification and compact development forms within these Urban Areas to support efficient land use, optimize infrastructure, and enhance existing communities. The proposed development of four (4) street townhouse units is consistent with these objectives and contributes to a more diverse housing mix while maintaining compatibility with the surrounding residential context. The proposed housing will result in a net density of roughly 23 units per hectare (uph). This is within the 15-30 uph average generally required for medium-density townhouses, according to the Norfolk County Official Plan.

Figure 4: Official Plan Designation Mapping



The following NCOP policies that apply to the proposal include: 5.3 (Housing); 5.3.1 (Residential Intensification); 6.4 (Urban Areas); 6.5.2 (Port Dover Urban Area); 7.7 (Urban Residential Designation); 7.7.1 (Permitted Uses); 7.7.2 (Land Use Policies); and 8.9.1 (Services in Urban Areas). Each policy is reviewed below.

Section 5.3 addresses Housing. Land Supply for Residential Growth (Section 5.3 a), this policy requires the County to maintain sufficient designated and zoned land, with available servicing capacity, to support residential growth. The proposed development utilizes a fully serviced, previously disturbed vacant lot within the Port Dover Urban Area. This site represents a strategically located infill opportunity and supports the County's obligation to maintain a sufficient land supply to accommodate growth through intensification. Housing Mix and Density Targets (Section 5.3 b), the county targets that 15% of all new housing should be semi-detached and townhouse dwellings. This application for four (4) street townhouses contributes directly to achieving this policy goal. The project introduces a medium density, ground-oriented housing type within an area predominantly composed of single detached dwellings, thereby promoting a more balanced housing mix in Norfolk County. Affordable Housing and Residential Intensification (Section 5.3 c) i, ii, iii) The county encourages residential intensification in appropriate locations with full service as a means of improving housing supply and affordability. This project contributes to overall housing availability through the efficient use of urban land. The proposal supports affordability goals by providing smaller scale dwellings within an existing neighbourhood, aligning with the County's policy to increase housing options through intensification, density, and compact design. Redevelopment and Infill Housing g) the County supports the redevelopment of underutilized urban land for housing. This project represents infill development on a vacant lot in an established neighborhood, fully supported by existing municipal infrastructure. It aligns with the County's goal to direct housing growth to lands already developed or serviced, improving efficiency and minimizing urban sprawl.

Section 5.3.1 addresses Residential Intensification. (Section 5.3.1 a) The subject lands are previously disturbed and currently vacant within an established residential area of Port Dover. The proposal to develop four (4) street townhouses represent small-scale intensification and an appropriate form of infill that utilizes existing infrastructure and complements the surrounding community. The policy supports the construction of these townhouses on vacant and underutilized land as urban residential intensification. (Section 5.3.1 b) The Official Plan targets a minimum of 25% of annual residential growth to be achieved through intensification within the built-up areas or Urban Areas that are fully serviced. The subject property is located within the Port Dover Urban Area, which has full municipal water and sanitary serving. This proposal supports the County's intensification goals and contributes toward achieving its housing growth target within built boundaries. (Section 5.3.1 f) This section outlines five criteria that intensification proposals must satisfy that *(i) the development proposal is within an Urban Area, and is appropriately located in the context of the residential intensification study; (ii) the existing water and sanitary sewer services can accommodate the additional development; (iii) the road network can accommodate the traffic generated; (iv) the proposed development is compatible with the existing development and physical character of the adjacent properties and surrounding neighbourhood; and (v) the proposed development is*

consistent with the policies of the appropriate Land Use Designation associated with the land. This application satisfies all the criteria as the subject property is designated as Urban Residential, fully serviced, and located along an existing road (St. George Street). The townhouses are designed to align with the existing residential character, making the project a suitable and compatible form of intensification.

Section 6.4 speaks to Urban Area; it designates Port Dover as an Urban Area and supports directing the majority of growth to these locations. The policy encourages the development of a mix of land uses and housing types, supported by full municipal services. The proposed townhouses align with this goal by providing compact housing in a walkable, serviced area.

Section 6.5.2 is about the Port Dover Urban Area; it is the second largest Urban Area in the County. This policy directs the County to support and promote Port Dover as a sustainable urban community with an efficient pattern of development. The proposed four (4) street townhouses represent a compact, infill development on a vacant, previously disturbed lot, making efficient use of existing infrastructure and services. By locating growth within the existing built boundary instead of expanding outward, the proposal helps maintain agricultural lands and reduces the need for new infrastructure investment. The project adds housing choice in a form (townhouses) that meets County housing mix targets (section 5.3), without disrupting the character of the surrounding neighbourhood. The proposal supports Port Dover's growth objectives by contributing to a diverse housing supply while maintaining compatibility with the existing built form.

Section 7.7 Urban Residential Designation, this section regards both permitted uses in this area and land use and built form policies. The Urban Residential designation permits a variety of housing types, including single detached, semi-detached, townhouse dwellings, and low-rise apartments. This proposal for four (4) street townhouses is permitted within this designation, representing a compatible form of development that supports a more diverse housing stock in Port Dover while remaining consistent with the surrounding neighbourhood's character.

Section 7.7.2 provides evaluation criteria for new development proposals in the Urban Residential designation. The subject is within an established neighbourhood, fully serviced by existing municipal water, sanitary sewer, and road infrastructure. The proposal meets the compatibility criteria by introducing a low-rise, ground orientated housing type that respects the height, scale, and massing of adjacent dwellings. The site design will provide appropriate building orientation, landscaping, and buffering to ensure integration with the existing streetscape. The development also supports the efficient use of land and infrastructure, aligning with the County's goals for compact, well designed urban form.

Section 8.9.1 outlines the County's policies for servicing new development in Urban Areas. The subject lands are within an established residential neighbourhood already serviced by municipal water and wastewater systems, satisfying the County's requirement for full municipal servicing. The proposal for four (4) street townhouses represents a modest infill development that efficiently uses existing infrastructure and aligns with the County's objective to prioritize development on serviced lands. By introducing a

compatible, ground-oriented housing form within an area of existing residential uses, the development supports compact urban growth and reflects the County's direction to encourage infilling.

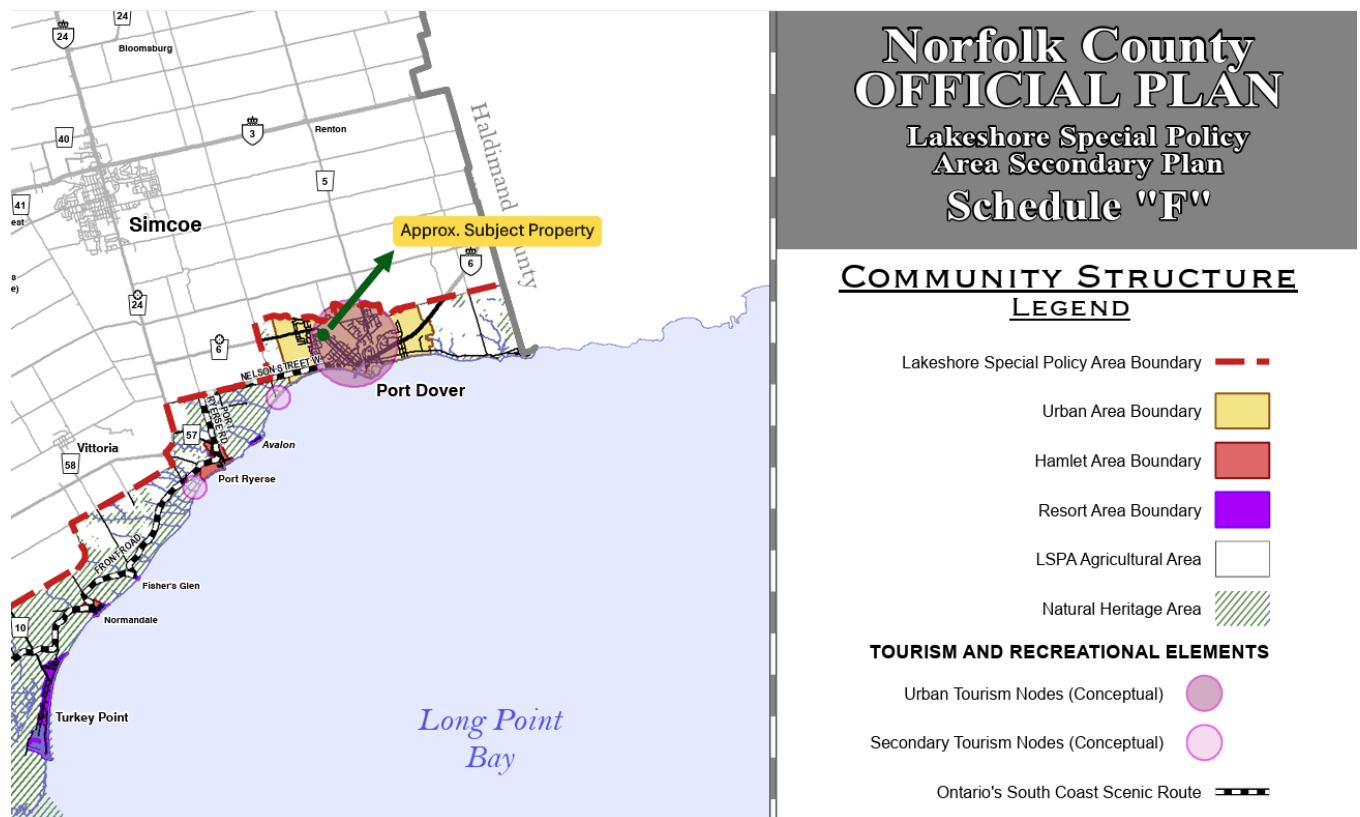
The proposed application conforms with the Norfolk County Official Plan.

4.4 LAKESHORE SPECIAL POLICY AREA SECONDARY PLAN, 2009

The Lakeshore Special Policy Area (LSPA) Secondary Plan contains policies, strategies, and mapping that guide growth management, support a mix of housing types, protect the natural and cultural heritage of lakeshore communities, and promote sustainable neighbourhood design.

The subject property is located within the Urban Area and Urban Tourism Nodes (conceptual) of Port Dover as identified in the LSPA Secondary Plan, as presented on **Figure 5**. This designation directs medium density housing forms, including street townhouses, to Urban Areas as part of a broader strategy for compatible infill and residential intensification. The proposed four-unit townhouse development represents a modest increase in density within an established residential neighborhood, making efficient use of existing municipal services while respecting the surrounding built form, maintaining the character of the streetscape, and enhancing the livability of the community.

Figure 5: LSPA Designation Mapping



Section 11.2.1.1 b) and e) promote compatibly scaled infilling and intensification in Urban Areas, with medium and higher density forms directed to Port Dover. The proposed street townhouses represent a modest intensification within the Port Dover Urban Area, making efficient use of a vacant lot and existing services, while providing a medium density housing form that is compatible with the surrounding residential character.

Section 11.3.2.1 e) states that development in Urban Areas shall respect and reinforce the existing character of the community and be reviewed under the LSPA community design guidelines. The proposed development incorporates building design, setbacks, and orientation that reinforce the established St. George Street streetscape maintaining neighbourhood cohesion.

Section 11.3.3.1 b) identifies row or block townhouses as a permitted medium density residential use in Urban Areas, subject to compatibility and design considerations. The proposed four (4) street townhouses fit this definition, offering a compatible scale and built form that complements surrounding single detached dwellings while contributing to housing diversity in the neighbourhood. This section also requires that medium density development be reviewed to ensure compatibility with surround uses. The proposed townhouses achieve this through appropriate massing, setbacks, and height transitions ensuring the development integrates smoothly into the existing residential context while enhancing the range of available housing.

Section 11.8.2 b) and c) encourages the use of the LSPA Community Design Guidelines and promotes sustainable neighbourhood and building design. The proposed townhouses adopt a compact, pedestrian orientated form that minimizes waste, supports energy efficiency, reinforces the streetscape, and integrates landscaped areas to enhance the public realm.

The proposed application conforms with the Lakeshore Special Policy Area Secondary Plan.

4.5 NORFOLK COUNTY ZONING BY-LAW NO. 1-Z-2014

The subject property is currently zoned **Residential 1-A (R1-A)**, and we hope to rezone to Residential 4 (R4), refer to **Figure 6** below. Although townhouses are permitted in R1-A, R4 is more appropriate for the proposed townhouses, given the proposed unit yield. See **Table 4** for the applicable R4 provisions.

Figure 5: Norfolk County Interactive Mapping: Subject property indicated in red – Residential 1-A



Table 4: Norfolk County Zoning By-law 1-Z-2014 – R4 Zone

Zone Provisions – R4	Required	Proposed	Comment
Min. Lot Area	156sqm	End Units: 496.17m ² Int. Units: 375.65m ²	Complies
Min. Lot Frontage	6.5m	6.5m	Complies
Min. Front Yard	6m	6.05m	Complies
Min. Interior Side Yard	6m	N/A	Does Not Apply
Min. Interior Side Yard	1.2	1.94m	Complies
Min. Rear Yard	7.5m	23.26m	Complies
Min. Separation	2m	N/A	Does Not Apply
Max. Building Height	11m	9.5m	Complies
Parking Requirements	2 spaces/unit	2 spaces/unit	Complies

This application meets all applicable provisions of the County of Norfolk Zoning By-law 1-Z-2014.

5. TECHNICAL REPORTS

5.1 TRAFFIC IMPACT BRIEF (ASURZA)

As part of the development review process, a traffic and access assessment was undertaken to evaluate the impacts of the proposed townhouse units on the surrounding road network and to ensure driveway design compliance with recognized standards. The assessment determined that, due to the limited scale of the development, the additional trips generated will have a negligible effect on current traffic operations. The TAC Geometric Design Guide for Canadian Roads was consulted to confirm that the proposed driveway widths, spacings, and skew meet the applicable design domains.

Based on the findings, the transportation consultant made the following recommendations:

- It is the professional opinion of Asurza that the proposed development will not adversely affect the operation of the adjacent roadway network.
- The proposed driveway geometry complies with the TAC design criteria, including the acceptable range for intersection skew (70° to 90°), ensuring safe and efficient access to the site.
- Notwithstanding the above conclusions, any site modifications during detailed design should continue to adhere to TAC standards to maintain safe driveway operations.

This report should ensure that the development can proceed as proposed.

5.2 FUNCTIONAL SERVICING REPORT (BALAN ENGINEERING)

A Functional Servicing Report confirms that the proposed development can be adequately serviced by existing municipal infrastructure.

Sanitary servicing will connect each unit via a 125 mm PVC line to the existing 450 mm sanitary main on St. George Street. Capacity analysis confirms sufficient flow capacity, with no anticipated constraints.

Water servicing will connect through 50 mm copper lines to the existing 200 mm watermain on St. George Street. Based on Ontario Building Code calculations, peak domestic demand (3.0 L/s total) can be accommodated within existing system capacity.

Fire protection will be provided by a hydrant located within 90 m of all building faces, meeting OBC requirements. The estimated fire flow requirement of 9,000 L/min (150 L/s) will be verified through testing.

All municipal and utility services, including hydro, gas, and telecommunications, are expected to be available without issue. Further details on servicing will be provided at detail design stage, if applicable.

6 PLANNING ANALYSIS SUMMARY

The application proposes to develop four street townhouses in a residential neighbourhood that fronts onto St. George Street, Port Dover.

This application also meets several technical requirements, as required by the County during the pre-consultation. These include:

- Traffic Brief (Asurza, September 2025);
- Lot Grading Plan (Balan Engineering, October 2025);
- Functional Servicing & Stormwater Management Report (Balan Engineering, October 2025); and
- Elevation Plans (Orchard Design Studio Inc, September 2025).

Based on the above technical reporting, this application has addressed all matters raised by the County and has been justified from a land use planning perspective. Therefore, this application represents good planning and should be approved.

7 CLOSING

It is our opinion that the applications represent good planning and should be approved because the application is:

1. Has regard for the Planning Act;

2. Consistent with the PPS;
3. Conforms to the Norfolk County Official Plan;
4. Conforms to the Port Dover Waterfront Masterplan and Secondary Plan;
5. Conforms to the Norfolk County Zoning By-law 1-Z-2014.

Please contact either of the undersigned with any questions or comments.

LANDPRO PLANNING SOLUTIONS INC.

Emilie Brodeur

Emilie Brodeur

Planner



289-680-5189



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Michael Sullivan

Michael Sullivan, M.Pl., RPP, MCIP

President | Founder



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Norfolk County Pre-Consultation Checklist

Please select the type of application required:

- | | |
|---|--|
| <input type="checkbox"/> Official Plan Amendment | <input type="checkbox"/> Draft Plan of Condominium |
| <input checked="" type="checkbox"/> Zoning By-law Amendment | <input type="checkbox"/> Site Plan |
| <input type="checkbox"/> Draft Plan of Subdivision | |

Please read all the information in this document on the requirements for future development planning applications. As a result of the information shared at the pre-consultation meeting dated June 25, 2025, the following applications and qualified professional documents/reports are required as part of a complete application. Please include all listed items with the application to ensure a complete application. The County reserves the right to change, reduce or add requirements for a complete application, particularly if the submission does not match the proposal as reviewed during the pre-submission consultation meeting.

Please note that various fees are associated with each application, and there are also costs for qualified professionals retained to complete various documents/reports. All requirements identified are minimum and determined as of the date of the pre-consultation meeting, with the information available at that time. As the proposal proceeds, more information is made public, additional applications, studies, reports, etc., may be required. **The information in this document is applicable for a maximum of one (1) year from the meeting date.**

Before you submit your application, please contact the assigned Planner to confirm submission requirements and the applicable fee. Fees will not be accepted until the submission has been reviewed and confirmed by the Planning Department.

1. Property Information and Proposal Summary

Registered owner: Fergco Investment Management I

Applicant/agent (if different than owner): Paul Breedyk

Property address: St. George Street (No Civic Address), Port Dover

Legal description: PDOV PLAN 207 RWY PT LOT 19 (Roll #: 3310334020054600000)

Current Official Plan designation and Zoning: Urban Residential designation under the Official Plan as well as Urban Residential Type 1 (R1-A) Zoning

Proposal: The applicant proposes a ZBA from R1-A to permit construction of four townhouse units.

2. Assigned File Planner

Name and Title: Soumaya Ben Miled, Planner

Phone Number: 519-426-5870 ext. 5036

E-mail: soumaya.benmiled@norfolkcounty.ca

3. Required Studies and Plans for Complete Application

Submission Materials	Required?	Notes:
Planning Requirements		
Completed Application Form	<input checked="" type="checkbox"/>	
Concept Plan	<input checked="" type="checkbox"/>	
Building Elevations	<input checked="" type="checkbox"/>	
Survey/Legal Plan	<input checked="" type="checkbox"/>	
Planning Justification Report	<input checked="" type="checkbox"/>	
Other:	<input checked="" type="checkbox"/>	Servicing Report Traffic Impact Analysis
Engineering Requirements		
General Plan of Services	<input checked="" type="checkbox"/>	Required for Part Lot Control
Lot Grading Plan	<input checked="" type="checkbox"/>	Required for Part Lot Control
Siltation and Erosion Control Plan	<input checked="" type="checkbox"/>	Required for Part Lot Control
Functional Servicing Brief	<input checked="" type="checkbox"/>	Required at zoning stage
Water Modelling (County Consultant)	<input type="checkbox"/>	Potentially required at ZBA stage
Sanitary Modelling (County Consultant)	<input type="checkbox"/>	Potentially required at ZBA stage

4. Detailed Comments Pertinent to the Application:

i. Norfolk County Planning and Realty Services

Contact Name(s) and Title(s): Soumaya Ben Miled, Planner

Email: soumaya.benmiled@norfolkcounty.ca

Comments:

Norfolk County Official Plan

The subject property is within the urban area of Port Dover located at the intersection of Dover Avenue (local road) and St George Street (collector road).

The lands are designated “Urban Residential” that allows for block townhouses subject to the policies of **Section 7.7.2 (b)** (Urban Residential Designation – Land Use Policies).

Townhouses generally have a net density of between 15 and 30 units per hectare. It is our understanding that four (04) Townhouse dwellings are proposed on 0.18 hectare of land resulting in a total density of 22 units per hectare.

Intensification, infill and redevelopment of designated and underutilized sites, and areas in transition in the Urban Areas will be encouraged.

Policy 5.3.1.f) states that “*The County shall consider applications for infill development, intensification and redevelopment of sites and buildings through intensification based on the following criteria:*

- i) the development proposal is within an Urban Area, and is appropriately located in the context of the residential intensification study;*
- ii) the existing water and sanitary sewer services can accommodate the additional development;*
- iii) the road network can accommodate the traffic generated;*
- iv) the proposed development is compatible with the existing development and physical character of the adjacent properties and surrounding neighbourhood; and*
- v) the proposed development is consistent with the policies of the appropriate Land Use Designation associated with the land”.*

All development in the Urban areas shall be fully serviced by municipal piped water supply and waste water treatment systems, save and except for circumstances outlined in **Section 8.9.1 f)** (Services in Urban Areas).

For the purpose of confirming the requirements of policy 5.3.1.f) the following technical studies will be required at the submission of the zoning by-law amendment application:

- Servicing Report (water, sanitary and stormwater systems)
- Traffic impact analysis (access egress review)

Note

The subject property is part of a registered plan of subdivision RP-0207. Please note that should you decide to sever the property, a Part-lot-control application is the appropriate Planning Act application to proceed with.

The subject lands are subject to the Lakeshore Special Policy Area (LSPA). Medium density residential uses including block townhouse dwellings which generally have

a net density of 15 units per hectare, may be permitted in accordance with the respective land use designation, and in consideration of the criteria outlined in Section 4.7.2 b) (Urban Residential Designation - Land Use Policies) of this Plan (Norfolk County Official Plan).

The development shall be reviewed in accordance with Norfolk County [Community Design Guidelines](#) in the LSPA.

Norfolk County Zoning By-law 1-Z-2014

The subject lands are currently zoned Urban Residential Type 1 (R1-A) which does not allow for townhouse units.

A zoning by-law amendment to Urban Residential Type 4 (R4) zone is required.

2.51.9 “STREET TOWNHOUSES” shall mean “*a dwelling containing three (3) or more dwelling units with each dwelling unit being divided one from the other by a vertical common wall, with no internal access between dwelling units, and with each dwelling unit fronting onto a street*”.

The zoning by-law amendment application needs to be supported by a Planning Justification Report prepared by a Registered Professional Planner. The members register can be accessed here [Member Register | OPPI](#) to help you find a qualified professional.

The proposed development will be revised pursuant to the requirements of section 5.4. of the zoning by-law and all other applicable requirements.

ii. Norfolk County Building

Contact Name(s) and Title(s): Lisa Jennings, Building Inspector II

Email: lisa.jennings@norfolkcounty.ca

Comments:

The proposed construction is considered a Residential Group C as defined by the Ontario Building Code (OBC). You will need to retain the services of a qualified individual with BCIN Small Buildings, Building Services, and possibly an Architect and/or a Professional Engineer to complete the design documentation for this application.

If any of the proposed dwellings include an additional dwelling unit, this must be included as part of the design documents at the time of building permit application. Any additional dwelling units proposed after construction begins will require a separate building permit.

No Ontario Building Code review has been completed at this time and will be done at the permit application stage.

Items for Building Permit

“New Residential,” “Applicable Law Checklist” Step by Step Guides have been attached to the minutes herein, they contain information on drawing requirements, designers, forms, contact information for Building Department etc. Please see the Norfolk County website, the link provided below:

[Building and Renovating | Norfolk County](#)

If you have any questions on the building permit process or plans required, please check out our website www.norfolkcounty.ca/business/building or call 519-426-5870 ext. 6016

iii. **Norfolk County Zoning**

Contact Name and Title: Troy Scriven, Zoning Administrator,

Email: troy.scriven@norfolkcounty.ca

Comments:

- The current zoning of the property is R1-A and the proposal looks to change the zoning to R4 to permit Street townhouses
- 2 parking spaces are required per dwelling and shall meet the size requirements in section 4.1.3 of the zoning by-law
- The parking spaces in the garages shall be sized to meet the requirements in section 4.1.3. The required size of parking space in the garage is 3.3m x 5.8m with no obstructions within this area.
- 50% of front yard shall be landscaped. Please add the proposed landscaped percentage to the zoning table on the site plan drawing.
- If Accessory Dwelling Units are proposed in the future, a planning application may be required to address the parking and ADU entrance location. Please refer to the Norfolk County website for ADU requirements and restrictions: <https://www.norfolkcounty.ca/business-building-and-development/building-and-renovating/building-permit-guides/additional-residential-dwelling-units-ardu/>

iv. **Norfolk County Engineering and Infrastructure Services**

Contact Name and Title: Brett Hamm, Development Technologist

Email: brett.hamm@norfolkcounty.ca

Comments:

Entrances are required to conform to Entrance By-Law 2016-32

- Development Engineering is not in favor of angled driveways onto the St. George ROW. Driveways will be required to be perpendicular to the road allowance
- Adjusting the property via boundary adjustment may be an option to help improve the layout of entrances and servicing, squaring off the lot lines to be consistent with the adjacent properties. This would need cooperation from the neighboring property owner(s).

Servicing

- Municipal services for all lots must be installed to the satisfaction of Norfolk County and all applicable permits must be applied for with Public Works.
- The current angled driveway configuration will result in swept/angled servicing laterals which is not favorable.

v. **Norfolk County Accessibility:**

Contact Name and Title: Sam McFarlane, Manager, Accessibility and Customer Experience

Email: sam.mcfarlane@norfolkcounty.ca

Comments:

No comments at this stage of the development.

vi. **Norfolk County Fire Services**

Contact Name and Title: Katie Ballantyne, Community Safety Officer

Email: katie.ballantyne@norfolkcounty.ca

Comments:

Norfolk Fire does not have any concerns with this proposal at this time.

vii. **Ministry of Transportation**

Contact Name and Title: Michael Kilgore, Corridor Management Planner

Email: michael.kilgore@ontario.ca

Comments:

Thank you for providing the MTO with the opportunity to review and provide comments.

The proposed work within Norfolk County is not located adjacent to a provincial highway or within MTO's Permit Control Area, and as such, does not require MTO review, approval or permits.

As a result of this, please be advised that I will not be in attendance for the pre-

con meeting being held on June 25, 2025. If you have any question or concerns please feel free to contact me.

viii. Mississaugas of the Credit First Nation

Contact Name and Title: Abby (LaForme) Lee, Consultation Coordinator

Email: abby.laforme@mncfn.ca

Comments:

The Mississaugas of the Credit First Nation (MCFN) are the Treaty Holders of the land on which the project will take place – specifically, the Between the Lakes Treaty No. 3, of 1792. The MCFN holds Indigenous and Treaty Rights specific to the project location and its environs, which may be adversely impacted by it. The Department of Consultation and Accommodation (DOCA) is designated by the MCFN to handle consultation matters on its behalf.

The DOCA consultation team has filed the project-related correspondence identified above. **We have no questions or comments for you at this time.** This does not indicate a position of support for the project, that the Duty to Consult and Accommodate the MCFN has been met, or that there are no adverse impacts to the MCFN's Indigenous and Treaty Rights.

DOCA expects to be notified of any and all future project updates and/or changes. Additionally, DOCA must be notified of, invited to participate in, and provided the opportunity to review any environmental and/or archaeological assessments. At its discretion, DOCA may request capacity funding from the proponent for its consultation and engagement activities relating to the project.

If you have any questions for the DOCA consultation team, please feel free to contact us.

Thank you.

ix. Six Nations of the Grand River

Contact Name and Title: Tierra Henhawk, Archaeology Community Monitor
Administrative Assistant

Email: acmaa@sixnations.ca

Comments

Given the extent of prior disturbance at this site, an archaeological assessment will not be required. However, please ensure that the standard archaeological warning clause is included in the file.

SNGR Standard Archaeology Warning Clause

"The owner AGREES that it, or its agents, builders or contractors shall immediately cease work and notify the Ministry of Tourism, Culture and Sport, of any archaeological resources, including but not limited to artifacts or burials,

during development. The owner further AGREES that if during construction any archaeological or cultural heritage resources (including human remains) are found that all the work shall cease, and the Ministry of Citizenship and Multiculturalism (MCM) and First Nations are notified and consulted on steps forward.”

x. Grand Erie Public Health

Contact Name and Title: Alex Dobias, Health Promoter

Email: adobias@geph.ca

Comments:

Please see comment from Grand Erie Public Health regarding St. George Street Port Dover pre-consultation:

There is an acute need for affordable housing of all kinds in Norfolk County. Provided the proposed development meets the intent and purpose of applicable policy, by-laws, codes and servicing capacity, Housing Services is supportive of the establishment of new purpose-built rental units in the community.

5. Notes and Clauses:

1. The purpose of this document is to identify the information required to commence processing a complete application as set out in the Planning Act, R.S.O. 1990, CHAPTER P.13, as amended and the County's Official Plan.
2. Pre-consultation does not imply or suggest any decision whatsoever on behalf of staff or the County to either support or refuse the application.
3. The application should be aware that the information provided is accurate as of the date of the pre-consultation meeting. Should an application not be submitted within a year, and should other policies, by-laws or procedures be approved by the Province, County, or other agencies prior to the submission of a formal application, the applicant will be subject to any new policies, by-laws or procedures that are in effect at the time of the submission of a formal application. **If an application is not submitted within one (1) year, another pre-consultation meeting shall be required, unless an exception is granted in writing by the Director of Planning**
4. It is hereby understood that during the review of the application additional studies or information may be required as a result of issues arising during the processing of the application or the review of the submitted studies.
5. If the County does not have sufficient expertise to review and determine that a study is acceptable, the County may require a peer review. The terms of

reference for a peer review is determined by the County and paid for by the applicant.

6. Please note if performance securities are required by the County to secure any internal and external development works, a recommended condition for your planning application approval will be to enter into a development agreement with the County. The agreement will be registered on title to the subject lands, at the owner's expense. The additional requirements for an agreement could include, but are not limited to the following:
 - Engineering drawing review
 - Engineer's schedule of costs for the works
 - Clearance letter and supporting documentation to support condition clearance
 - User fees and performance securities
 - Current property identification number (PIN printout)
 - Owner's commercial general liability insurance certificate
 - Professional liability insurance certificate
 - Postponement of interest
 - Transfers and / or transfer easements along with registered reference plan

Appendix A: Planning Reference Materials

Following is a summary of some land use planning reference materials. It is the requirement of the applicant to ensure compliance with applicable legislation, policies, and regulations.

Provincial Policy Statement, 2020

<https://www.ontario.ca/page/provincial-policy-statement-2020>

Norfolk County Official Plan

<https://www.norfolkcounty.ca/government/planning/official-plan/>

Section 9.6.1 outlines requirements in relation to requests to amend the Official Plan. Section 9.6.2 outlines requirements in relation to requests to amend the Zoning By-law.

It is the responsibility of the proponent to review and ensure relevant Official Plan policies are addressed in any future development application.

Norfolk County Zoning By-Law 1-Z-2014

<https://www.norfolkcounty.ca/government/planning/new-zoning-by-law/>

The provisions of the Norfolk County Zoning By-Law shall apply to all lands within the boundaries of Norfolk County. No land, building or structure shall be used, erected, or altered in whole or in part except in conformity with the provisions of this By-Law. No land, building or structure shall be used or occupied except for uses that are specifically identified in the By-Law as permitted uses by the relevant zoning category.

It is the responsibility of the proponent to review and ensure relevant Zoning By-law provisions are addressed in any future development application.

Endangered and Threatened Species:

Endangered and threatened species and their habitat are protected under the provinces Endangered Species Act, 2007 (ESA), O. Reg. 242/08 and O. Reg. 830/21. The Act prohibits development or site alteration within areas of significant habitat for endangered or threatened species without demonstrating that no negative impacts will occur. The Ministry of the Environment, Conservation and Parks ("MECP") provides the service of responding to species at risk information requests and project screenings. The proponent is responsible for discussing the proposed activity and having their project screened with MECP (Ministry of Environment, Conservation and Parks).

Please be advised that it is the owner's responsibility to be aware of and comply with all relevant federal or provincial legislation, municipal by-laws, or other agency approvals.

Summary of Fees, Forms, and other information pertaining to the planning process can found by visiting <https://www.norfolkcounty.ca/government/planning/>

Norfolk County Engineering Design Standards

All applicants must adhere to Norfolk County's Design Criteria when undertaking a development project. Please contact Engineering and Infrastructure Services directly for a copy of Norfolk County's Design Criteria.



7078 Liberty St. North
Bowmanville, ON
L1C 6K4

P - 905.448.4399
info@asurza.ca
www.asurza.ca

September 8, 2025

Ms. Emilie Brodeur
LandPro Planning Solutions Inc.
204-110 James Street
St. Catharines, ON L2R 7E8

Reference: Traffic Brief – Proposed Townhouse Units
St George Street & Dover Avenue
Port Dover, Norfolk County, ON
Project N° 2452-25

Dear Ms. Brodeur,

Asurza Engineers Ltd. was retained to undertake a traffic review for the proposed townhouse units to be located St George Street in the community of Port Dover, Norfolk County. The analysis will estimate the trips to be generated by the proposed development and evaluate any possible impact on the adjacent roadways.

Also, the TAC Design Guide, *Chapter 8 - Access* was consulted to ensure that the design of the proposed driveways will provide safe operations.

Background Information

The subject site is situated in the west part of Port Dover, along St George Street and adjacent to Dover Avenue. A fabric store is present west of the site, as well as an elementary school and community centre to the south.

The road network near the site is primarily focused on providing access to residential driveways. See **Exhibit 1** for an aerial view of the subject site and its surroundings.



Exhibit 1: Location of the Subject Site.

St George Street is a two-lane north-south road (one lane per direction), showing an urban cross section with curbs, and catch basins for water drainage. This road provides travelers with a route parallel to Main Street. No posted speed was identified in the area; therefore, the statutory 50 km/h speed is adopted in accordance with the Ontario Highway Traffic Act.

Dover Avenue is a two-lane east-west road (one lane per direction), showing an urban cross-section with curbs, and catch basins. This road intersects with St George St to form a three-legged one-way stop-controlled intersection. No posted speed was identified in the area; therefore, the statutory 50 km/h speed is adopted in accordance with the Ontario Highway Traffic Act.

The subject site is a vacant parcel, and according to the draft site plan, four townhouse units are planned. Each unit will have its own driveway access provided via St George St, see the draft site plan enclosed at the end of this letter.

Within the TAC Geometric Design Guide for Canadian Roads, *Chapter 8 – Access*, various driveway parameters are provided with their respective ranges for safe operations. Based on the draft site plan, the driveway widths, spacings, and skew are all noted to comply with the TAC Guide design domains.

With respect to skew, the TAC Guide indicates that two-way driveways should normally intersect the roadway curb at or near 90°. However, acute angles between 70° and 90° are generally considered acceptable and will allow the driveway to operate properly. Therefore, the proposed driveway geometry falls within the safe range of skew angles for two-way driveways.

Development Trip Generation and Trip Distribution

The estimation of trips generated by the proposed development was derived from the Trip Generation Manual, 11th Edition, published by the Institute of Transportation Engineers (ITE). The land use which most closely describes the proposed development is ‘Single-family Attached Housing – ITE Code 215’.

The trip rates and the estimated numbers of trips to be generated by the proposed development are shown in **Table 1**.

According to the trip generation manual, ‘single-family attached housing’ includes any single-family housing unit that shares a wall with an adjoining dwelling unit, whether the walls are for living space, a vehicle garage, or storage space.

TRIP GENERATION RATES BY LAND USE								
ITE Code	ITE Land Use	Unit of Measure	AM Peak Hr. of Adj. Street			PM Peak Hr. of Adj. Street		
			Rate	In	Out	Rate	In	Out
215	Single-Family Attached Housing	Dwelling Units	0.48	25%	75%	0.57	59%	41%

TRIPS GENERATED BY PROPOSED DEVELOPMENT								
ITE Code	ITE Land Use	Total Units	AM Peak Hr. of Adj. Street			PM Peak Hr. of Adj. Street		
			Trips	In	Out	Trips	In	Out
215	Single-Family Attached Housing	4	2	0	2	2	1	1

Table 1: Estimated Trips Generated by the Proposed Development.

It is estimated that the proposed development will generate 2 trips during a typical weekday morning peak hour and 2 trips during a typical weekday afternoon peak hour.

Based on the estimation, it is clear that the number of trips during peak hours is very minor and will have a negligible impact on the current traffic operations on the adjacent roads and intersections.

Discussion

The “Transportation Impact Analyses for Site Development – an ITE Recommended Practice,” from the Institute of Transportation Engineers, provides guidelines to help in determining the need for a traffic impact analysis. One of them is that the generation of an additional 100 vehicles per hour by any proposed development can possibly create some traffic issues (i.e. reduction of capacity, extended queues, low level of service).

The publication also indicates that the 100 vehicles per hour should not be seen as a strict threshold for the initiation of a transportation impact analysis. Due to the sensitivity of densely populated areas where the environment includes diverse urban characteristics (i.e. high-rise buildings with commercial areas), many jurisdictions tend to use lower

thresholds; these threshold levels may vary among agencies in response to particular local conditions and priorities.

Knowing that the proposed townhouse units are very minor in terms of traffic generation and are not located in a highly densely populated area, it is determined that the number of trips generated does not reach any threshold to require an in-depth traffic analysis.

Sight Lines

The sight distance available at the site driveway location was reviewed based on the design speed of the roadway. As such, at the proposed site location along St George St, 60 km/h is adopted as the design speed.

At the site driveway location, sight distance was measured in the field. Wooden poles with markings were used; the markings on the poles identify the height of the turning vehicle driver's eye at 1.05 m and the top of approaching vehicles at 1.3 m above the pavement, in accordance with TAC Design Guide. Tables indicating the minimum sight distances required for left turns and right turns, varying by design speed, are also present within the Guide.

The tables indicate that for design speed of 60 km/h, a minimum of 110 metres is required when performing a right turn (from driveway looking south), and that a minimum of 130 metres is required when performing a left turn (from driveway looking north). A summary of the sight distances required and available are shown in **Table 2**.

	Type of Speed	Speed Limit	Design Speed	Min. Required Sight Distance	Field Measured Sight Distance
St George St [right turns]	Posted	50 km/h	60 km/h	110 m to south	180+ m to south
St George St [left turns]	Posted	50 km/h	60 km/h	130 m to north	180+ m to north

Table 2: Summary of Sight Distances Required and Available.

No concerns with sight lines at the site driveway location were identified, as the sight distances available exceed well beyond those required.

Conclusions and Recommendations

Due to the very limited scale of the proposed development, the additional trips generated by the proposed townhouse units will impose virtually no impact on the adjacent highway network; any minor traffic impact because of the new trips will be negligible to current traffic operations.

Also, the TAC Geometric Design Guide for Canadian Roads was consulted to ensure that the proposed driveways will provide safe operations. Based on the draft site plan, the driveway widths, spacings, and skew are all noted to comply with the TAC Guide design domains.

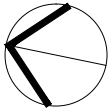
With respect to skew, the TAC Guide states that residential two-way driveways normally intersect the roadway curb at or near 90°. However, an acute angle between 70° and 90°, as measured by the roadway curb line, will normally operate in an acceptable manner. Therefore, the proposed driveway geometry complies with the requirements as per the TAC Manual.

Should you require any further information in consideration of the above, please contact the undersigned.

Sincerely,



Martin Asurza, M. Eng., P. Eng.
Senior Transportation/Traffic Engineer
martin@asurza.ca



Designer Information

I, COREY WEHRL review and take responsibility for the design work on behalf of Orchard Design Studio Incorporated registered under Firm BCIN : 28615

Will

Signature _____

Individual BCIN: 37253

Project Information

BREEDYK HOMES

ST GEORGE STREET TOWNS

PORT DOVER, ON

Science

No.	Date	Description
1	2025-08-29	ISSUED TO CITY

Sheet Information

SITE PLAN OPTION 2

Project No. _____

15962

Project Start Date:

2025-08-13

File:

St George Street - Site Plan3.dwg

Drawn by:

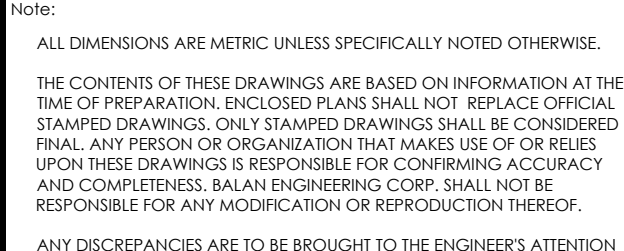
JF

Scale:

1:250

PRELIMINARY

A1.01



PROPERTY LINE

ADJACENT PROPERTY LINES

POST MOUNTED SIGN

RAIN WATER LEADER

MANHOOD EXTENSION/BRANCH

OVER-HEAD DROPE LOCATION

DENOTES FIRE HYDRANT

REFER TO ELECTRICAL DRAWINGS FOR BUILDING/SITE LIGHTING

GAS METER

CATCH BASIN

MANHOLE

CATCH BASIN / DRYWELL

CHAIN LINK FENCE

WOODEN FENCE LINE

DENOTES SIDEWALK RAMP AND FACILITIES SERVING TRAFFIC TO OPFD 310.00

DENOTES EXISTING CONFERENCER TREE

EXISTING CONTOURS AT INTERVALS _____ FT.

PROPOSED GRAVEL AREA

P/L

6"

PS (EXISTING)

PS (PROPOSED)

(EXISTING)

(PROPOSED)

O.H.D.

18" H

WB 3" WALL MOUNTED

LS. POLE MOUNTED

WB WALL PACK LIGHTING

HYPD POLE

WATER VALVE

WHY

CABLE / TRAFFIC VAULT

NUT

BELL PEDSTOL

9" P/P

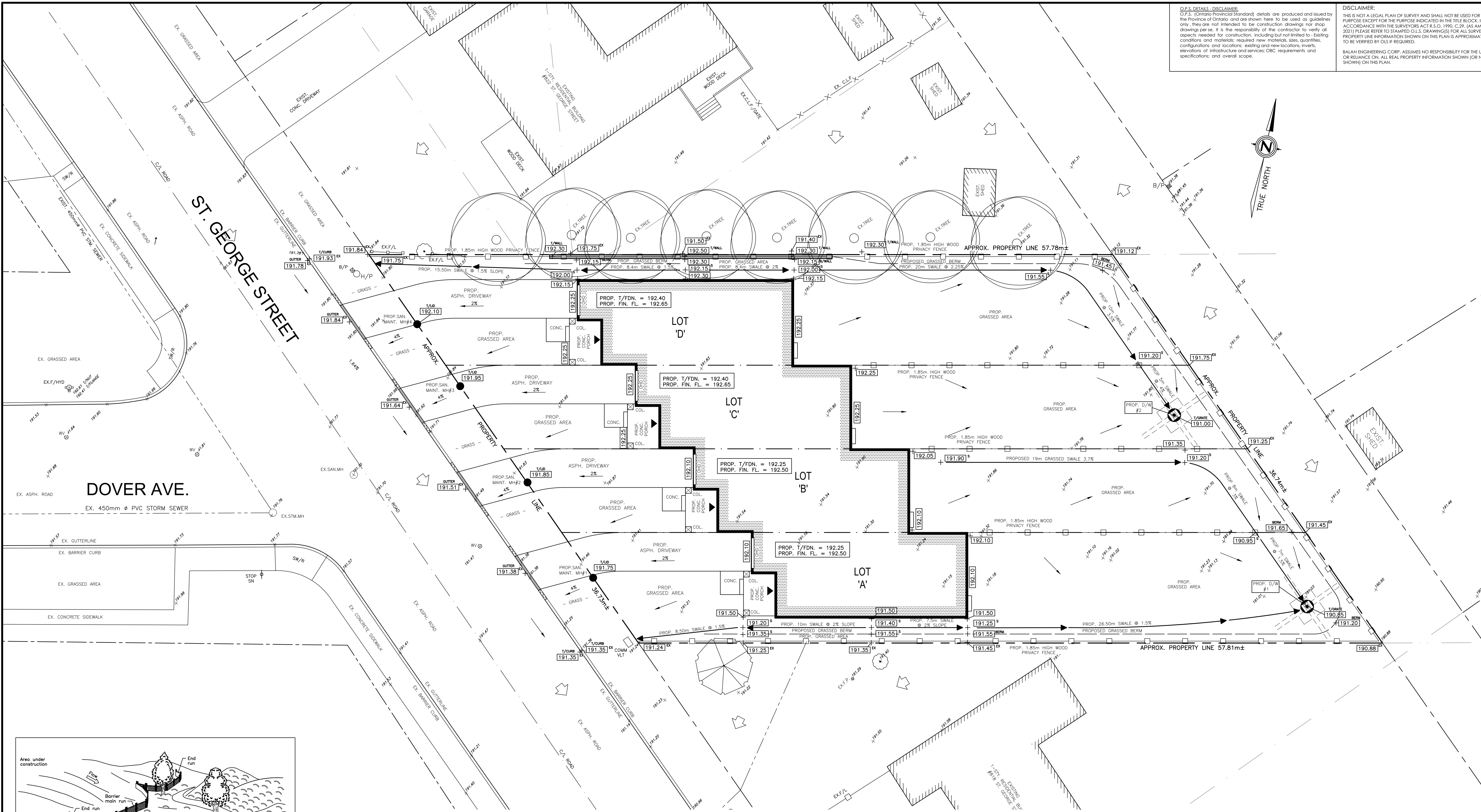
C.S.F.

X X

F/L

S/N

220.00



O.P.S. DETAILS - DISCLAIMER:
O.P.S. (Ontario Provincial Standard) details are produced and issued by the Province of Ontario and are shown here to be used as guidelines only. They are not intended to be construction drawings nor shop drawings per se. It is the responsibility of the contractor to verify all aspects needed for construction, including but not limited to: Existing conditions and materials; required new materials, sizes, quantities, configurations and locations; existing and new locations, levels, elevations of infrastructure and services; OBC requirements and specifications; and overall scope.

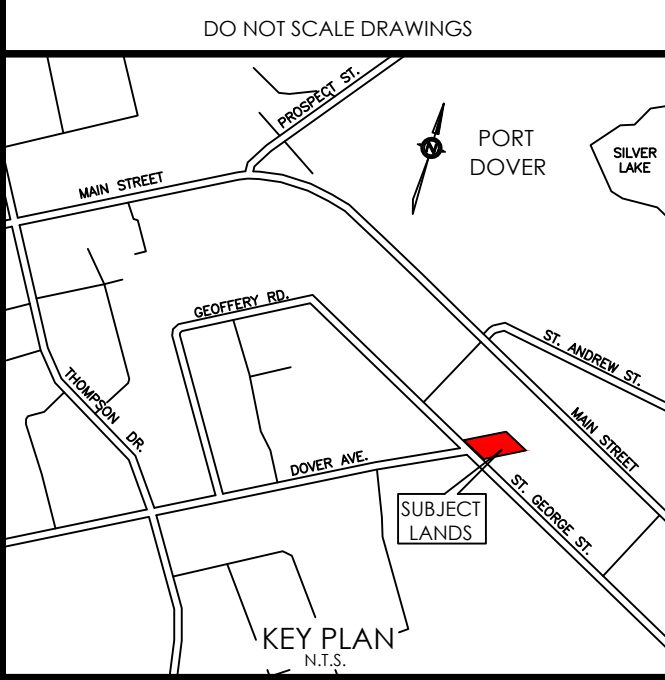
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DO NOT SCALE DRAWINGS

LEGAL DESCRIPTION:
PART OF RAILWAY LOT 19, REGISTRY PLAN 807, TOWN OF PORT DOVER, NORFOLK COUNTY, ONTARIO.

LEGAL PROPERTY BOUNDARY INFORMATION:
THE LEGAL PROPERTY BOUNDARY INFORMATION FOR THIS DRAWING IS BASED ON A DRAWING 25-64-165-00, JEWITT AND DION LTD., O.L.S., DATED JAN. 17TH, 2015. REFER TO ACTUAL DRAWINGS BY ABOVE NOTED O.L.S. FOR EXACT SURVEY REFERENCES AND DESCRIPTIONS AND PROPERTY MONUMENT LOCATIONS AND TYPES.

BM1, ELEV: 191.70
TOP OF SANITARY MANHOLE LID AT THE INTERSECTION OF DOVER AVE. AND ST. GEORGE STREET.



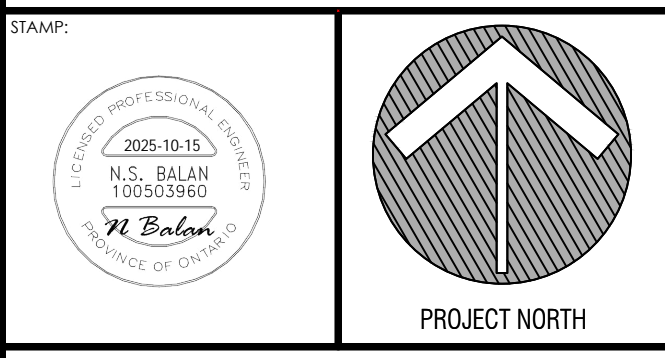
BREEDYK HOMES LTD.

Web: breedykhomes.ca
Office: 519.410.8122



REVISIONS			
Rev.	Date	Description	By
01	2025/10/15	ISSUED FOR ZBA	CB

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BALAN ENGINEERING CORP.

49 North Street East, Thornburg, ON
email: info@balanengineering.com
Web: balanengineering.com
Office: 519.688.2025

PROPOSED TOWNHOUSE DEVELOPMENT BY BREEDYK HOMES, LTD.

820 ST. GEORGE STREET, PORT DOVER, ONT.

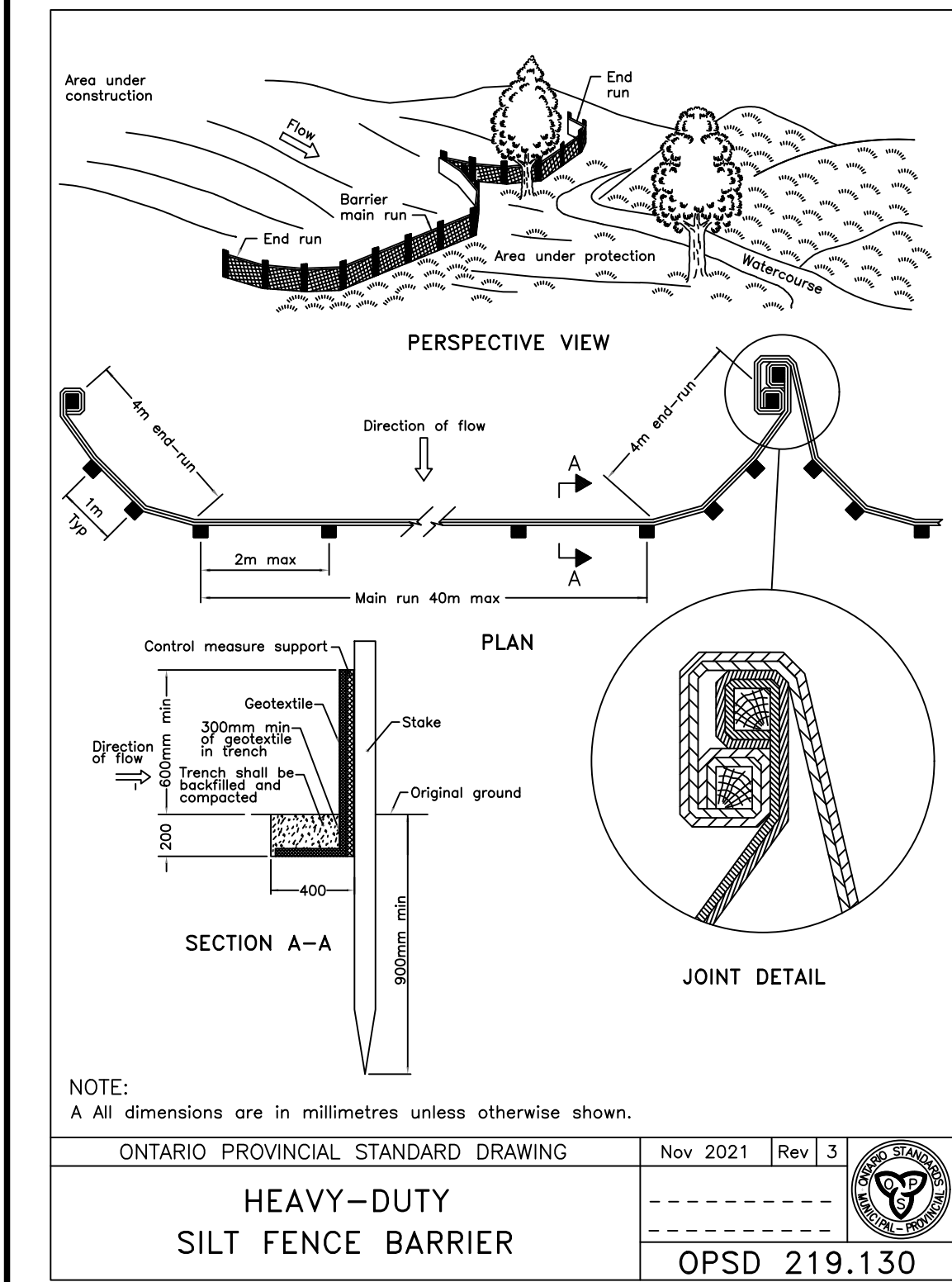
GRADING PLAN

Drawn By: CB
Approved By: NB
Date: AUG. 06, 2025

Job Number: 25-0450
Sheet No.:
Revision No.:
Scale: As Noted

SP2

01



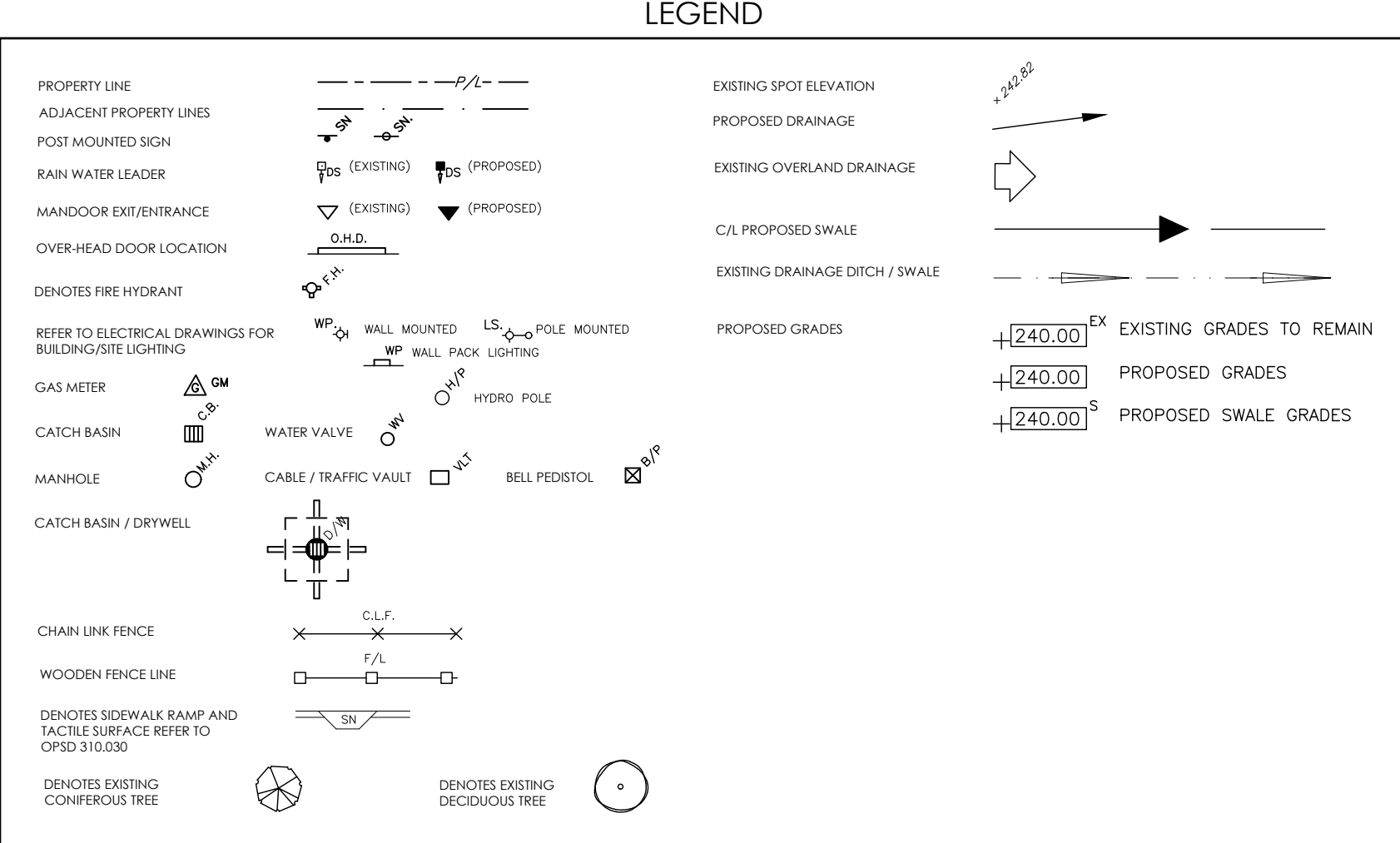
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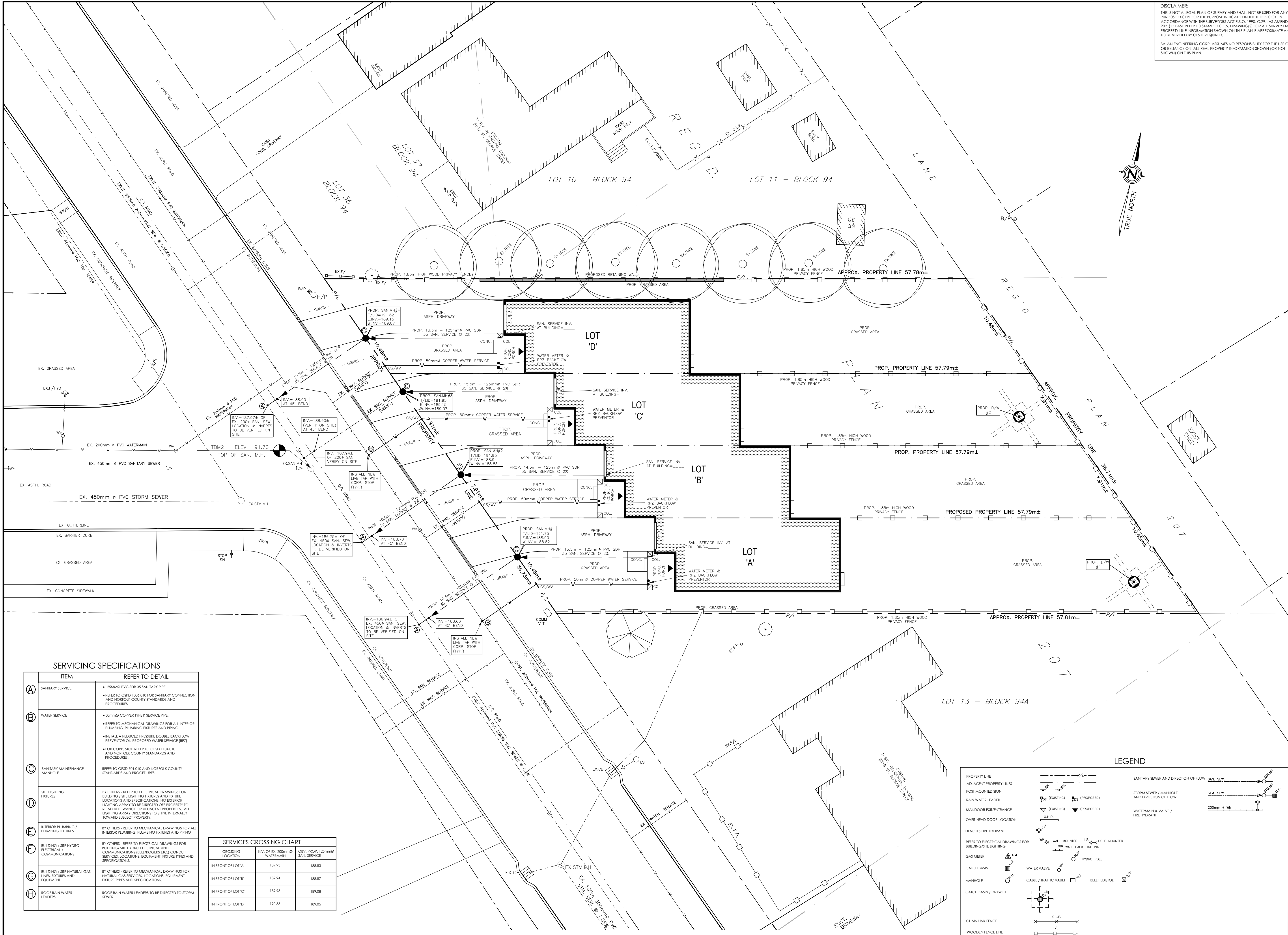
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- SILT FENCE NOTES:**
1. SILT FENCE SHALL GENERALLY BE PLACED A MINIMUM OF 1.5m BEYOND TOE OF SLOPE, 3m PREFERRED, TO PROVIDE ADEQUATE AREA FOR SEDIMENT STORAGE AND FACILITATE MAINTENANCE OF SEDIMENT CONTAINMENT AREA.
 2. ALL ENDS SHALL BE "J" HOOKED TO TRAP SEDIMENT.
 3. IN AREAS WITH TWO SLOPES, SILT FENCE SHALL BE USED TO ERECT A DAM AND TRAP SEDIMENT AT THE BASE OF THE STEEPER SLOPE.
 4. THE BOTTOM EDGE OF SILT FENCE SHALL BE BURIED A MINIMUM OF 150mm BELOW GROUND, AND KEYED IN 100mm. THE FENCE SHALL BE INSTALLED WITH THE POSTS ON THE DOWNSTREAM SIDE OF THE FABRIC. MAXIMUM DRAINAGE AREA TRIBUTARY TO 30m OF SILT FENCE SHALL BE 0.1 ha.
 5. SILT FENCE SHALL BE REMOVED WHEN THE AREA HAS BEEN STABILIZED.
 6. AT TIME OF REMOVAL OF THE SILT FENCE, THE DISTURBED AREA SHALL BE REPAIRED AND STABILIZED.
 7. MEASURES SHALL BE INSPECTED EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT GREAT ENOUGH TO CAUSE WATER TO LEAVE THE CONSTRUCTION SITE.
 8. MEASURES SHALL BE CLEANED AND REPAIRED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATION REACHES ONE-HALF OF THE MEASURE HEIGHT. SEDIMENT SHALL BE DISPOSED OF AS UNSUITABLE MATERIAL.
 9. SILT FENCE SHALL BE INSTALLED ON A LINE OF EQUAL ELEVATION (CONTOUR). IT MAY BE INSTALLED AT INTERMEDIATE POINTS UP SLOPES AS WELL AS AT THE BOTTOM, AS SHOWN IN THE DETAIL.
 10. SILT FENCE SHALL NOT BE USED ACROSS CONCENTRATED FLOW.

- GENERAL EROSION AND SEDIMENT CONTROL NOTES:**
1. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICE WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF NORFOLK COUNTY.
 2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CLEARING.
 3. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES.
 4. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE PLAN APPROVING AUTHORITY.
 5. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
 6. ALL EROSION AND SEDIMENT CONTROLS ARE TO BE INSTALLED AND MAINTAINED TO THE SATISFACTION AND TO THE REQUIREMENTS OF NORFOLK COUNTY.
 7. ALL AREAS OF WORK WHICH WILL REMAIN DISTURBED FOR A PERIOD OF THIRTY DAYS OR MORE MUST BE STABILIZED TO THE SATISFACTION OF NORFOLK COUNTY.
 8. ALL MATERIAL STOCKPILES ARE TO BE LOCATED WITHIN THE BOUNDARY OF THE INDICATED SILT FENCE. ADDITIONAL SILT FENCE IS TO BE ERECTED AROUND ANY PROPOSED STOCKPILES.
 9. CATCH BASINS TO HAVE SILT TRAPS INSTALLED FOR THE DURATION OF CONSTRUCTION. REFERENCE DETAIL ON THIS PAGE.

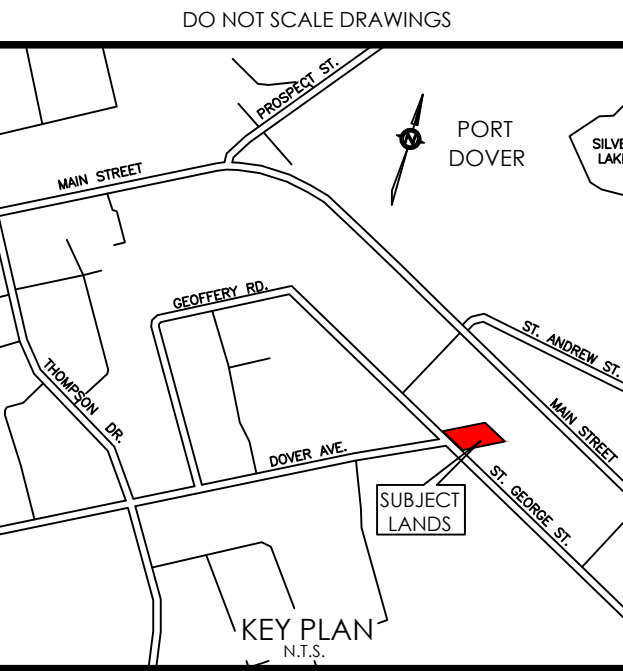
10. SILT FENCE AS PER OPSD 219.130
11. ALL EROSION CONTROL DEVICES ARE TO BE INSPECTED AND MAINTAINED WEEKLY AND AFTER EACH RAINFALL.
12. OWNER IS RESPONSIBLE FOR INSPECTIONS AND MAINTENANCE OF STORMCEPTOR AS PER MANUFACTURER'S INSTRUCTIONS. ALL EROSION AND SEDIMENTATION CONTROL DEVICES MUST BE IN PLACE PRIOR TO ANY EARTH MOVING/CONSTRUCTION ACTIVITIES AND MUST BE MAINTAINED UNTIL FINAL COVER IS ESTABLISHED.





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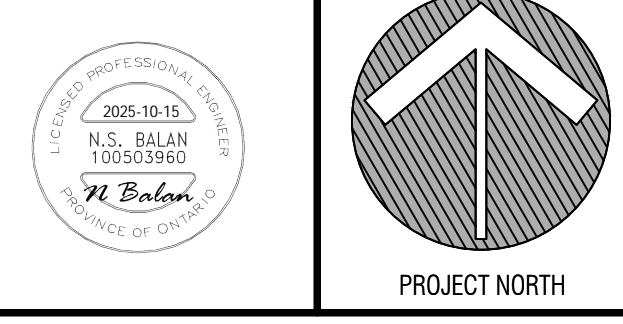
LEGAL DESCRIPTION:
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REVISIONS			
Rev.	Date	Description	By
01	2025/10/15	ISSUED FOR ZBA	CB

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Project Name: **PROPOSED TOWNHOUSE DEVELOPMENT BY BREEDYK HOMES, LTD.**

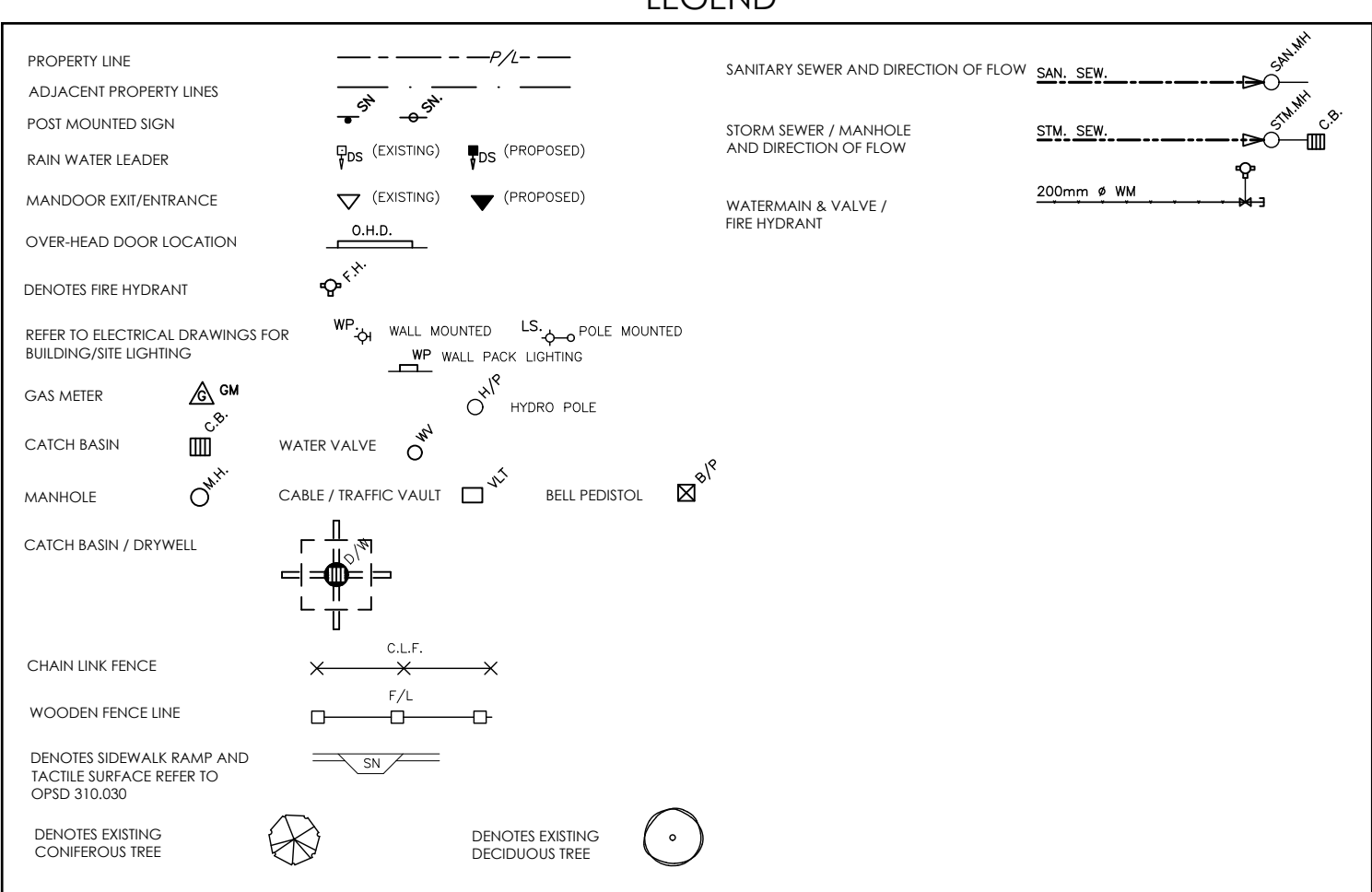
820 ST. GEORGE STREET, PORT DOVER, ONT.

SERVICING PLAN	
Drawn By: CB	Job Number: 25-0450
Approved By: NB	Sheet No.: Revision No.:
Date: Aug. 06, 2025	Scale: As Noted
	SP3 01

ITEM	REFER TO DETAIL
(A) SANITARY SERVICE	• 125mmØ PVC SDR 35 SANITARY PIPE. • REFER TO CPD 1004.010 FOR SANITARY CONNECTION AND NORFOLK COUNTY STANDARDS AND PROCEDURES.
(B) WATER SERVICE	• 50mmØ COPPER TYPE K SERVICE PIPE. • REFER TO MECHANICAL DRAWINGS FOR ALL INTERIOR PLUMBING, PLUMBING FIXTURES AND PIPING. • INSTALL A REDUCED PRESSURE DOUBLE BACKFLOW PREVENTOR ON PROPOSED WATER SERVICE (RP2). • FOR CORP. STOP REFER TO CPD 1184.010 AND NORFOLK COUNTY STANDARDS AND PROCEDURES.
(C) SANITARY MAINTENANCE MANHOLE	REFER TO CPD 701.010 AND NORFOLK COUNTY STANDARDS AND PROCEDURES.
(D) SITE LIGHTING FIXTURES	BY OTHERS - REFER TO ELECTRICAL DRAWINGS FOR LIGHTING / SITE LIGHTING FIXTURES AND FIXTURE LOCATIONS AND SPECIFICATIONS. NO EXTERIOR LIGHTING ARRAY TO BE DIRECTED OFF PROPERTY TO ROAD ALLOWANCE OR ADJACENT PROPERTIES. ALL LIGHTING ARRAY DIRECTIONS TO SHINE INTERNALLY TOWARD SUBJECT PROPERTY.
(E) INTERIOR PLUMBING / PLUMBING FIXTURES	BY OTHERS - REFER TO MECHANICAL DRAWINGS FOR ALL INTERIOR PLUMBING, PLUMBING FIXTURES AND PIPING.
(F) BUILDING / SITE HYDRO ELECTRICAL / COMMUNICATIONS	BY OTHERS - REFER TO ELECTRICAL DRAWINGS FOR BUILDING / SITE HYDRO ELECTRICAL AND COMMUNICATIONS (BELT/ROGERS ETC.) CONDUIT SERVICES, LOCATIONS, EQUIPMENT, FIXTURE TYPES AND SPECIFICATIONS.
(G) BUILDING / SITE NATURAL GAS LINES, FIXTURES AND EQUIPMENT	BY OTHERS - REFER TO MECHANICAL DRAWINGS FOR NATURAL GAS SERVICES, LOCATIONS, EQUIPMENT, FIXTURE TYPES AND SPECIFICATIONS.
(H) ROOF RAIN WATER LEADERS	ROOF RAIN WATER LEADERS TO BE DIRECTED TO STORM SEWER.

SERVICES CROSSING CHART		
CROSSING LOCATION	INV. OF EX. 200mmØ WATERMAIN	ORV. PROP. 120mmØ SAN. SERVICE
IN FRONT OF LOT 'A'	189.93	188.83
IN FRONT OF LOT 'B'	189.94	188.87
IN FRONT OF LOT 'C'	189.93	189.08
IN FRONT OF LOT 'D'	190.33	189.05

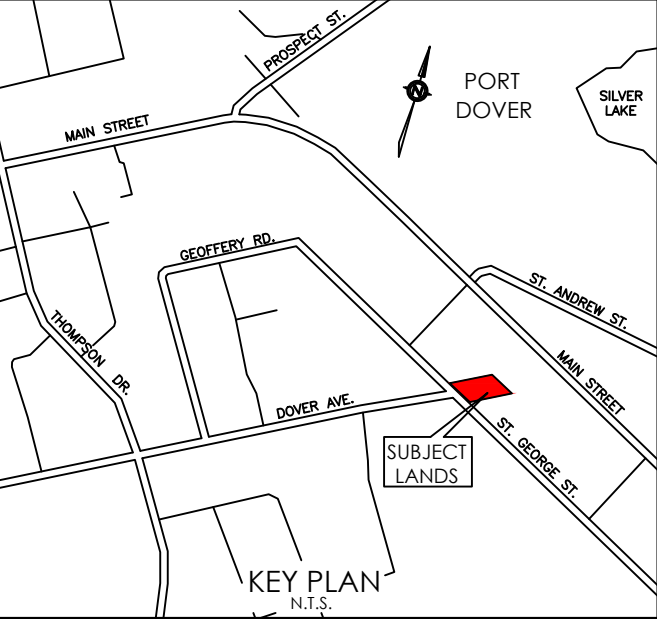
1 SITE PLAN
SP1
SCALE= 1:200 (METRIC)



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LEGAL DESCRIPTION:
PART OF PARCEL LOT 19
REGISTERED PLAN 897
TOWN OF PORT DOVER
NORFOLK COUNTY, ONTARIO

LEGAL PROPERTY BOUNDARY INFORMATION:
THE LEGAL PROPERTY BOUNDARY INFORMATION FOR THIS DRAWING IS BASED ON A DRAWING 25-64-165-00 JEWITT AND DIXON LTD., C.L.S., DATED JAN. 17TH, 2015.
REFER TO ACTUAL DRAWINGS BY ABOVE NOTED C.L.S. FOR EXACT SURVEY REFERENCES AND DESCRIPTIONS AND PROPERTY MOUNTAIN LOCATIONS AND TYPES.

18M1, ELEV=191.70
TOP OF SANITARY MANHOLE LID AT THE INTERSECTION OF DOVER AVE. AND ST. GEORGE STREET.

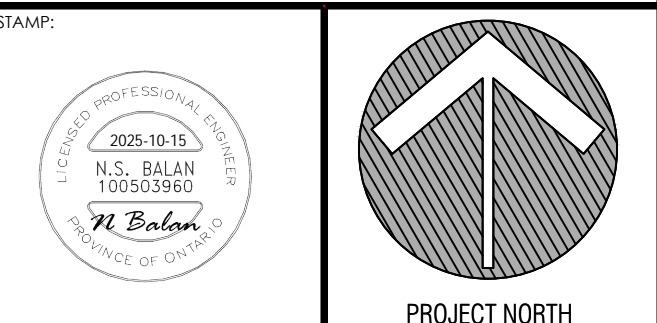


REVISIONS

Rev.	Date	Description	By
01	2025/10/15	ISSUED FOR ZBA	CB

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Project Name:
PROPOSED TOWNHOUSE DEVELOPMENT BY BREEDYK HOMES, LTD.
820 ST. GEORGE STREET, PORT DOVER, ONT.

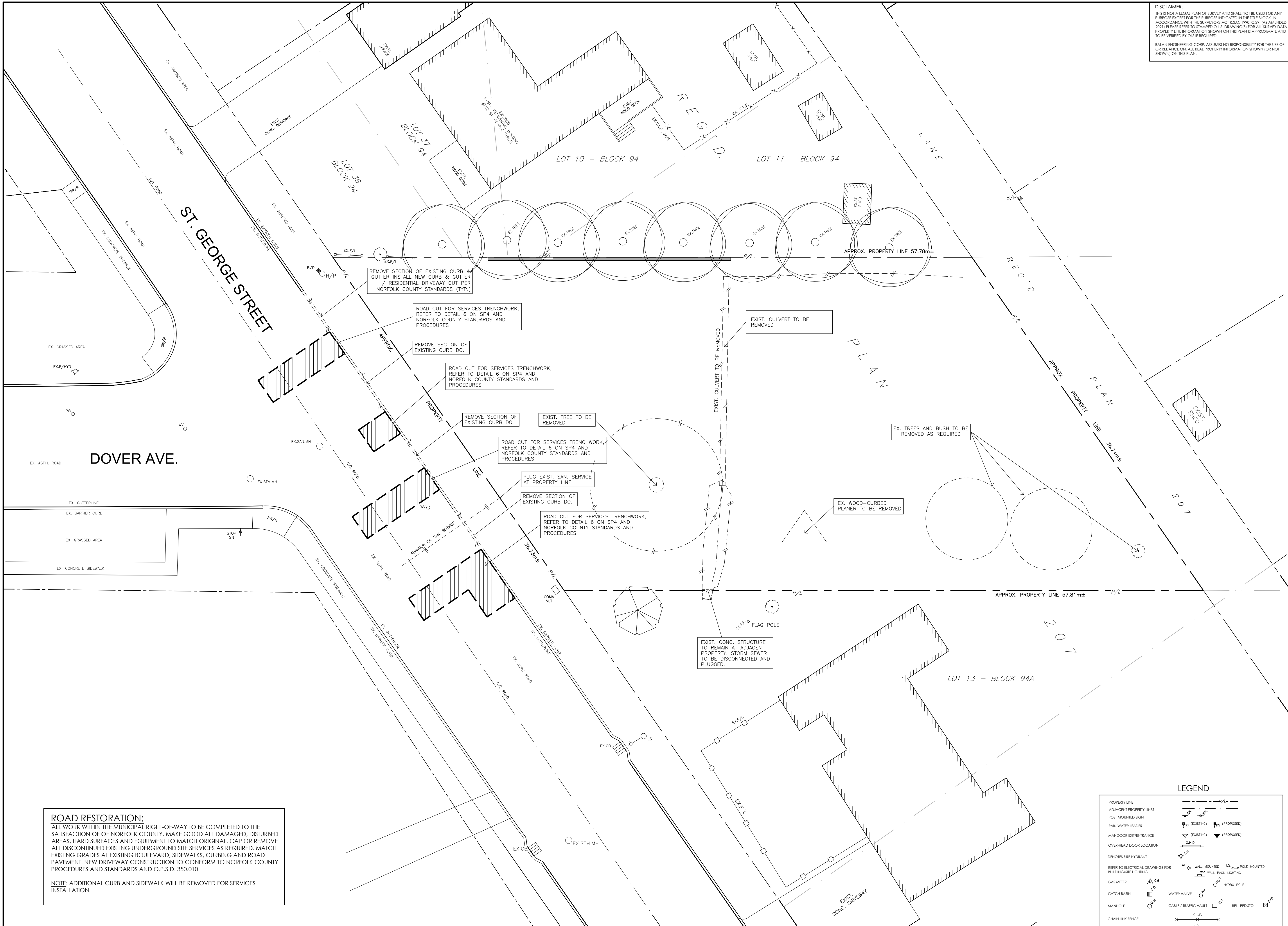
Drawings:
GRADING PLAN

Drawn By: CB
Approved By: NB
Date: AUG. 06, 2025
Job Number: 25-0450
Sheet No.: SP5
Revision No.: 01
Scale: As Noted

ROAD RESTORATION:
ALL WORK WITHIN THE MUNICIPAL RIGHT-OF-WAY TO BE COMPLETED TO THE SATISFACTION OF NORFOLK COUNTY. MAKE GOOD ALL DAMAGED, DISTURBED AREAS. HARD SURFACES AND EQUIPMENT TO MATCH ORIGINAL. CAP OR REMOVE ALL DISCONTINUED EXISTING UNDERGROUND SITE SERVICES AS REQUIRED. MATCH EXISTING GRADES AT EXISTING BOULEVARD, SIDEWALKS, CURBING AND ROAD PAVEMENT. NEW DRIVEWAY CONSTRUCTION TO CONFORM TO NORFOLK COUNTY PROCEDURES AND STANDARDS AND O.P.S.D. 350.010
NOTE: ADDITIONAL CURB AND SIDEWALK WILL BE REMOVED FOR SERVICES INSTALLATION.

1 SITE PLAN
SP1
SCALE= 1:200 (METRIC)

LEGEND	
PROPERTY LINE	---
ADJACENT PROPERTY LINES	---
POST MOUNTED SIGN	PS (EXISTING) PS (PROPOSED)
RAIN WATER LEADER	RV (EXISTING) RV (PROPOSED)
MANDOOR EXTERMINATION	M.E. (EXISTING) M.E. (PROPOSED)
OVER-HEAD DOOR LOCATION	O.H.D.
DENOTES FIRE HYDRANT	HP
REFER TO ELECTRICAL DRAWINGS FOR BUILDING/SITE LIGHTING	WP WALL MOUNTED LS POLE MOUNTED WP WALL PACK LIGHTING
GAS METER	GM
CATCH BASIN	CB
MANHOLE	MH
CHAIN LINK FENCE	CLF
WOODEN FENCE LINE	WF
DENOTES SIDEWALK RAMP AND TACTILE SURFACE REFER TO OPSD 310.030	SW
DENOTES EXISTING CONIFEROUS TREE	CT
DENOTES EXISTING DECIDUOUS TREE	DT





BALAN
ENGINEERING CORP.

Web: www.balanengineering.com
Office: 519-688-2525
e-mail: info@balanengineering.com
Address: 49 North Street East, Tillsonburg, ON

FUNCTIONAL SERVICING BRIEF

PROPOSED STACKED TOWNHOMES & SITE ALTERATION

Breedyk Homes Ltd.

St. George Street, Port Dover, Ontario

Legal Description: PDOV PLAN 207 RWY PT LOT 19
Roll #: 3310334020054600000



Submission:

R0 – Submission October 15, 2025

1.0 Introduction

Balan Engineering has been retained to prepare the Site plan designs with Functions Servicing and Stormwater management reports for the proposed development at St. George Street, Port Dover. The property is at the intersection of Dover Avenue and St George Street in Port Dover, Ontario.

The subject property is approximately 0.174 ha, zoned Urban Residential (R1-A) with no current development. This report is prepared to support the Zoning Bi-Law Amendment from R1-A to R-4, for the proposed development of a 4 Unit, 2-storey townhouse block.

This report serves to demonstrate that the subject development can be appropriately achieved and to provide a basis for detailed engineering, and to be read in conjunction with the Site Plan prepared by Balan Engineering.

2.0 Site Investigation

The subject property is approximately 0.174 ha with neighbouring residential properties. Municipal storm, sanitary and water services are available along St George Street to the West of the property. Additionally, a Fire Hydrant is found at the North-East corner of the adjacent intersection of Dover Avenue and St George Street.

The current proposal is to develop four townhouse units, 2 storey, stacked configuration in one block, complete with four new driveways accessed from St George Street. Refer to Balan Eng. SP1-SP5 for proposed site, grading and servicing plans.

2.1 Proposed Building Statistics:

Lot Zoning:	Urban Res.	R-4
Lot Area	0.174	ha
Number of Units	4	
Units per Hectare	23	
Ground floor Area	442	m ²
Gross Bldg Area	884	m ²
Building Height	2	stories
Setbacks S	1.94	m
E (Back) min.	21.56	m
N	1.94	m
W (Front)	7.9	m

3.0 Sanitary Sewer Servicing

Sanitary servicing designs consider the Norfolk County design criteria, Section 9, and will utilize 125mm PVC service pipe for each unit, connected to a municipal 450mm PVC SDR35 Sanitary line within St George Street right of way based on municipal service documentation available.

3.1 Population Density

Norfolk County requires sewage loading calculations for residential developments to consider 2.75 persons/unit.

$$2.75 \text{ PPU} \times 4 \text{ Units} = 11 \text{ persons.}$$

3.2 Daily Sanitary Loading
= $0.45 \text{ m}^3 / \text{person} / \text{day}$
= 0.45×11
= $4.95 \text{ m}^3 / \text{day}$

3.3 Average Daily Flow Rate
= $4.95 \text{ m}^3 / 24\text{hrs} / 3600 \text{ sec}$
= $0.000573 \text{ m}^3 / \text{S}$
= 0.0573 l/s

3.4 Peak Daily Sanitary Flow
= $2 \times \text{Daily Flow}$
= $2 \times 4.95 \text{ m}^3 / \text{day}$
= $9.9 \text{ m}^3 / \text{day} ; 0.1146 \text{ l/s}$

3.5 Peak Hourly Sewage Flow Factor

The peak hourly sanitary flow is calculated by Harmon formula, where P is population / 1000 and M is a multiplier of the average flow.

$$\begin{aligned} M &= 1 + (14/(4+P^{0.5})) ; 2 < M < 5, \\ &= 1 + (14/(4+(23/1000)^{0.5})) \\ &= 4.37 \end{aligned}$$

3.6 Infiltration Allowance

The municipality requires an additional infiltration allowance of 0.28 litres/sec/hectare for all land use types.

3.7 Design Peak Daily Sanitary Flow
= $M \times \text{Peak Sanitary Flow} + \text{Infiltration Allowance}$
= $4.37 \times 0.1146 + 0.28 \times 0.174$
= $0.55 \text{ l/s}; 33.0 \text{ l/min}; \mathbf{9.0 \text{ USGPM}}$

- 3.8 A PVC SDR 35 sanitary sewer of nominal 125mmØ with a friction factor of n=0.013, an
An internal diameter of 135mm and a minimum slope of 1.0% would have a capacity of

$$Q = (1/n) \times A \times r_h^{2/3} \times S^{0.5} \quad \text{where } n = \text{mannings roughness coefficient}$$

A = Interior area of pipe
 r_h = Hydraulic radius = $r/2 = 135/2/2 = 0.03375\text{m}$
 S = slope in m drop/m run = 0.01

$$Q = (1/0.013) \times 3.14 \times (0.0675\text{m})^2 \times (0.03375)^{2/3} \times (1/100)^{0.5}$$

$$= 76.923 \times 3.14 \times .004556 \times 0.1043 \times 0.1$$

$$Q = 0.0115 \text{ m}^3/\text{s} = 11.5 \text{ l/s}$$

Therefore, the capacity of a 125mm SDR 35PVC pipe at a 1.0% slope is 11.5 litres/second when flowing full, which exceeds the required flow and would be satisfactory.

Minor flow increases into the existing municipal 450mm sanitary pipe along St George Street are proposed and assumed to be satisfactory. It is expected that there are no impediments for connecting this development to existing municipal sewage works. All connections are to be in accordance with municipal guidelines.

4.0 Water Servicing

Domestic water service for each unit will employ 50mm copper pipes connected to a 200mm municipal water main on St George Street. Each unit will be complete with a meter chamber, and each unit will have up to 25mm copper service. The peak domestic water demand was calculated using the "Fixture Unit Method" as per Table 7.6.3.2.A of the Ontario Building code and summarized below, per unit.

Table 4.01 Fixture Unit Calculation (Per Unit)

Fixture or Device	Minimum Size of Supply Pipe	Hydraulic Load (Fixture Units)	Quantity	Total Hydraulic Load (Fixture Units)
Bathroom Group with 6LPF flush	N/A	3.6	1	3.6
Water Closet, 6LPF or less with flush tank	3/8"	2.2	2	4.4
Kitchen Sink	3/8"	1.4	2	2.8
Dishwasher	3/8"	1.4	1	1.4
Cloths Washer	1/2"	1.4	1	1.4
Laundry Sink	3/8"	1.4	1	1.4
Outdoor hose bibb	1/2"	2.5	1	2.5

Total 17.5 units

Total domestic water service for the proposed development is 17.5 fixture units x 4 = 70 fixture units, converted flow (L/s) using OBC Table 7.4.10.5, is **47 USGM = 3.0 litre/sec**

4.1 Fire Water Servicing

A fire hydrant is located at the North East corner of the intersection of Dover Avenue and St George Street and is within 90 metres horizontally of any part of the building that must face the street. This is within the requirement of the Ontario Building Code Section 3.2.5.5, which stipulates that this distance shall not be more than 90m. Fire hydrant testing may be conducted within the designated service area to verify the availability of required fire flow.

The initial estimate of required fire flow for the proposed development has been estimated using the Fire Underwriter's Survey: *Water Supply for Public Fire Protection – 1999*. The calculations are provided below

4.1.1 Building construction

The proposed building is non-sprinklered and with combustible construction, two storeys

4.1.2 Based Fire Flow

F = Base Fire Flow Requirements

A = 662 m²

C = Fire Resistance Coefficient, 1.5 for Type V Wood Framed Construction

(Type V, combustible construction with exposed building face along faces having a minimum of 1hr FRR, treated as III/IV for the purposes of Exposure Charge)

$$F = 220 \times C \times A^{0.5}$$

$$F = 220 \times 1.5 \times 662^{0.5}$$

$$= 8500 \text{ L/min}$$

4.1.3 Occupancy Charge

Limited Combustible - 15%

4.1.4 Adjustment for Adjacent Buildings

North Face 10.1-20.1m + 10%

South Face 3.1m-10m + 15%

East Face >45m + 0%

West Face >45m + 0%

4.1.5 Final Fire Flow Calculation

$$= (-15\% + 10\% + 15\%) \times 8,500 \text{ L/min}$$

$$= 9,35 \text{ L/min}$$

Used 9,000 L/min (nearest 1000L/min) = **150L/s; 2,380 USGPM**

5.0 Conclusion

The main finding of the functional servicing report for the proposed development is that servicing is typical and should be adequately serviced through the proposed sanitary and water systems. Utility servicing, including Hydro, Gas and Bell do not anticipate challenges in providing their respective service for this development proposal.

Report prepared by

Neil Balan

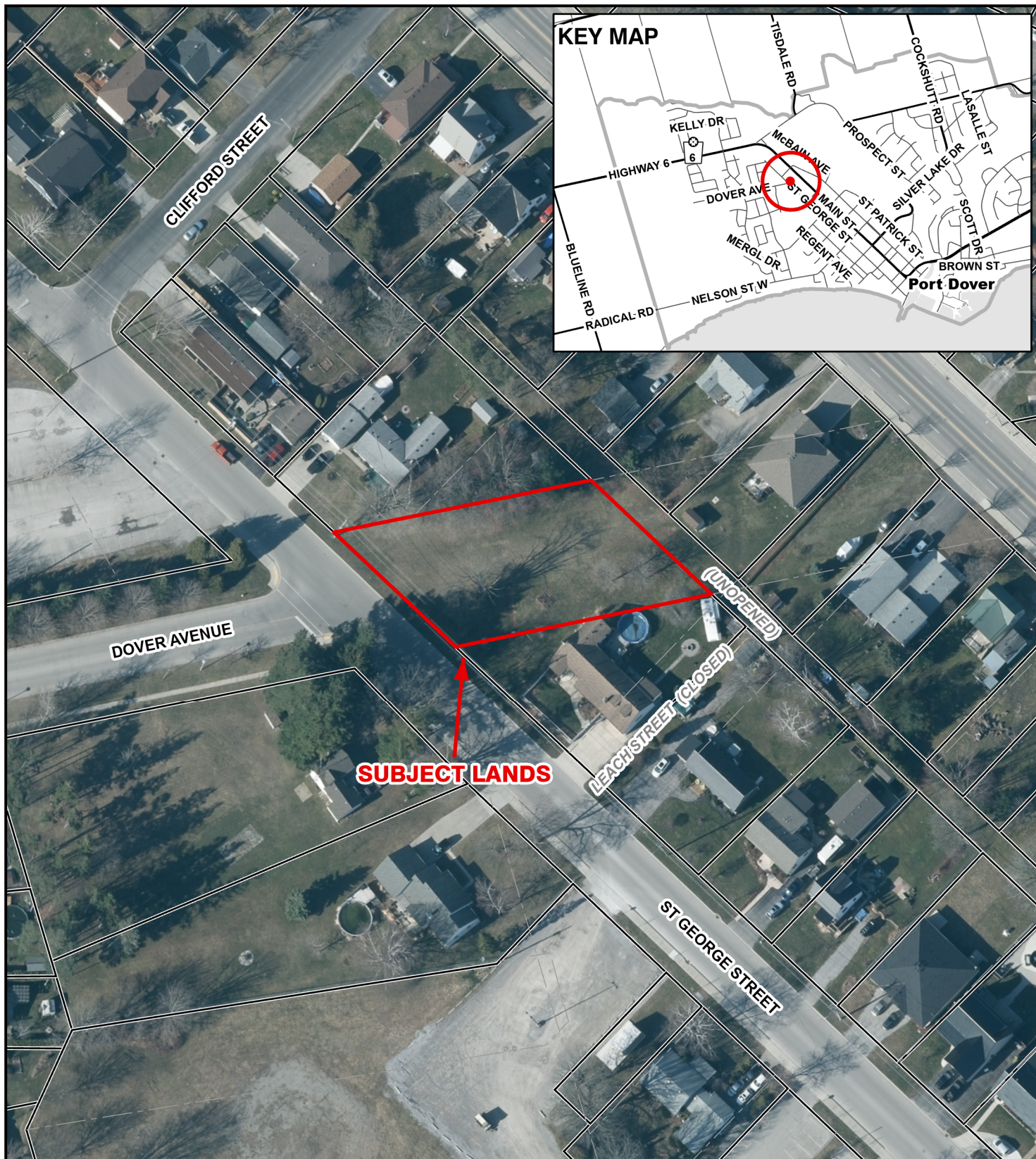
Neil Balan, P. Eng.

Suite 206, 49 North St E, Tillsonburg
ON. Canada,
N4G 1B4
(519) 688-2525

October 15, 2025

MAP A
CONTEXT MAP
 Urban Area of PORT DOVER

ZNPL2025329



Legend

Subject Lands

2020 Air Photo

11/27/2025

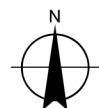


9.54.75 0 9.5 19 28.5 38 Meters

☐ Subject Lands

Official Plan Designations

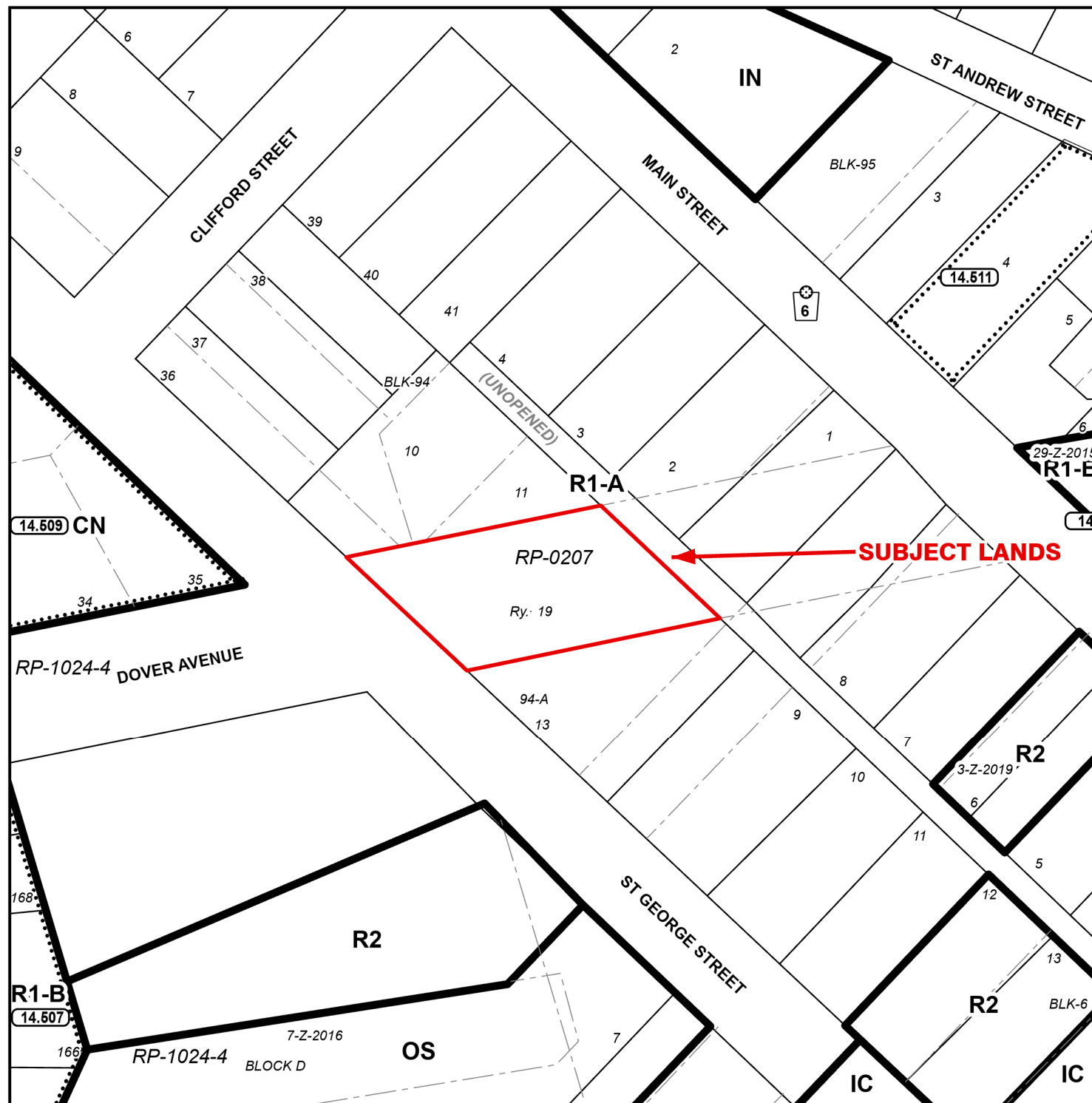
-  Urban Residential
  Special Policy Area
-  Parks & Open Space
  Urban Area Boundary



10 5 0 10 20 30 40 Meters

PROPOSED ZONING BY-LAW AMENDMENT MAP

Urban Area of PORT DOVER



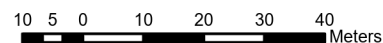
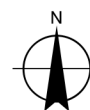
LEGEND

Subject Lands

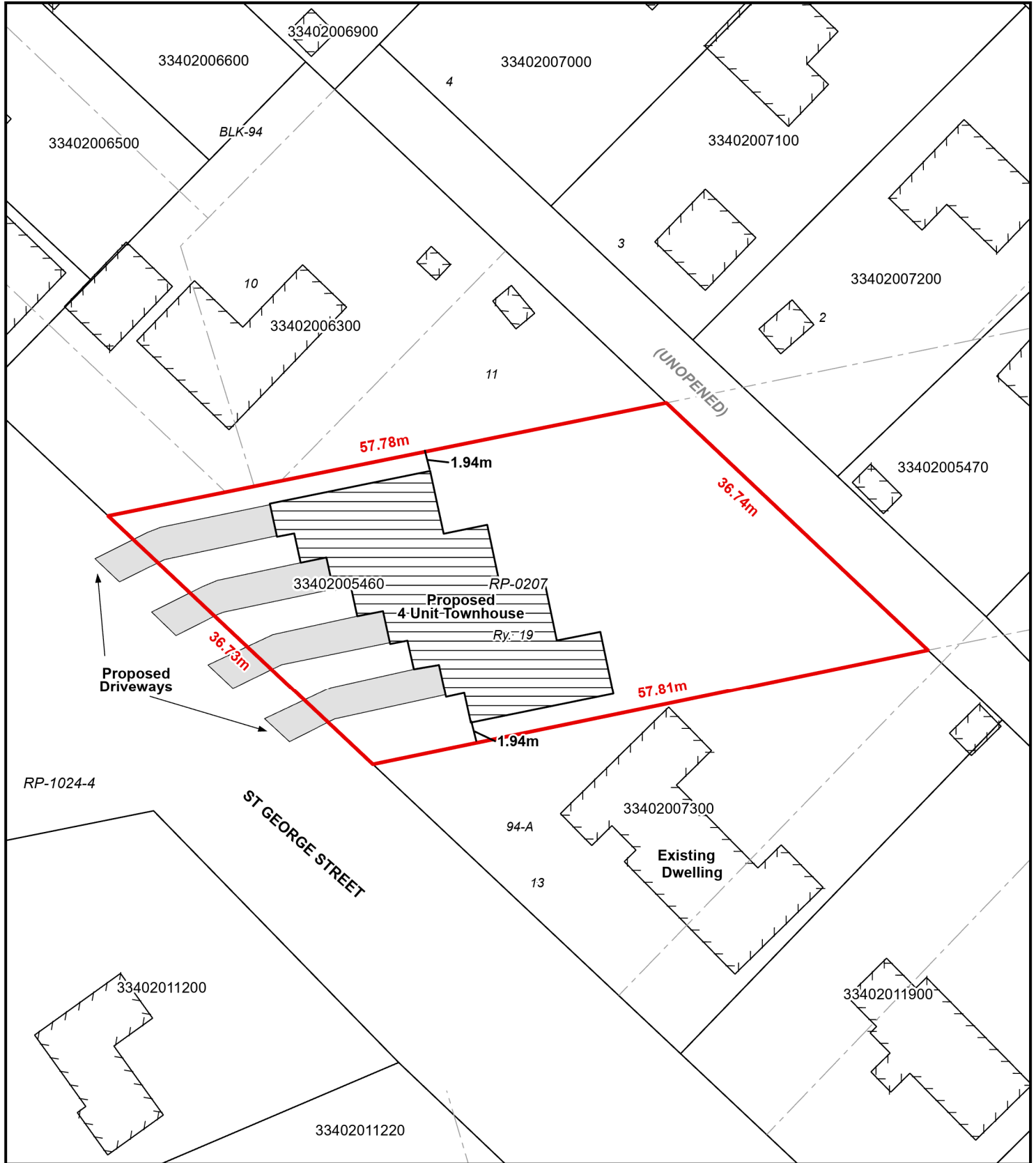
ZONING BY-LAW 1-Z-2014

11/27/2025

- (H) - Holding
- CN - Neighbourhood Commercial Zone
- IC - Community Institutional Zone
- IN - Neighbourhood Institutional Zone
- OS - Open Space Zone
- R1-A - Residential R1-A Zone
- R1-B - Residential R1-B Zone
- R2 - Residential R2 Zone



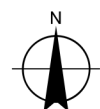
CONCEPTUAL PLAN Urban Area of PORT DOVER



Legend

Subject Lands

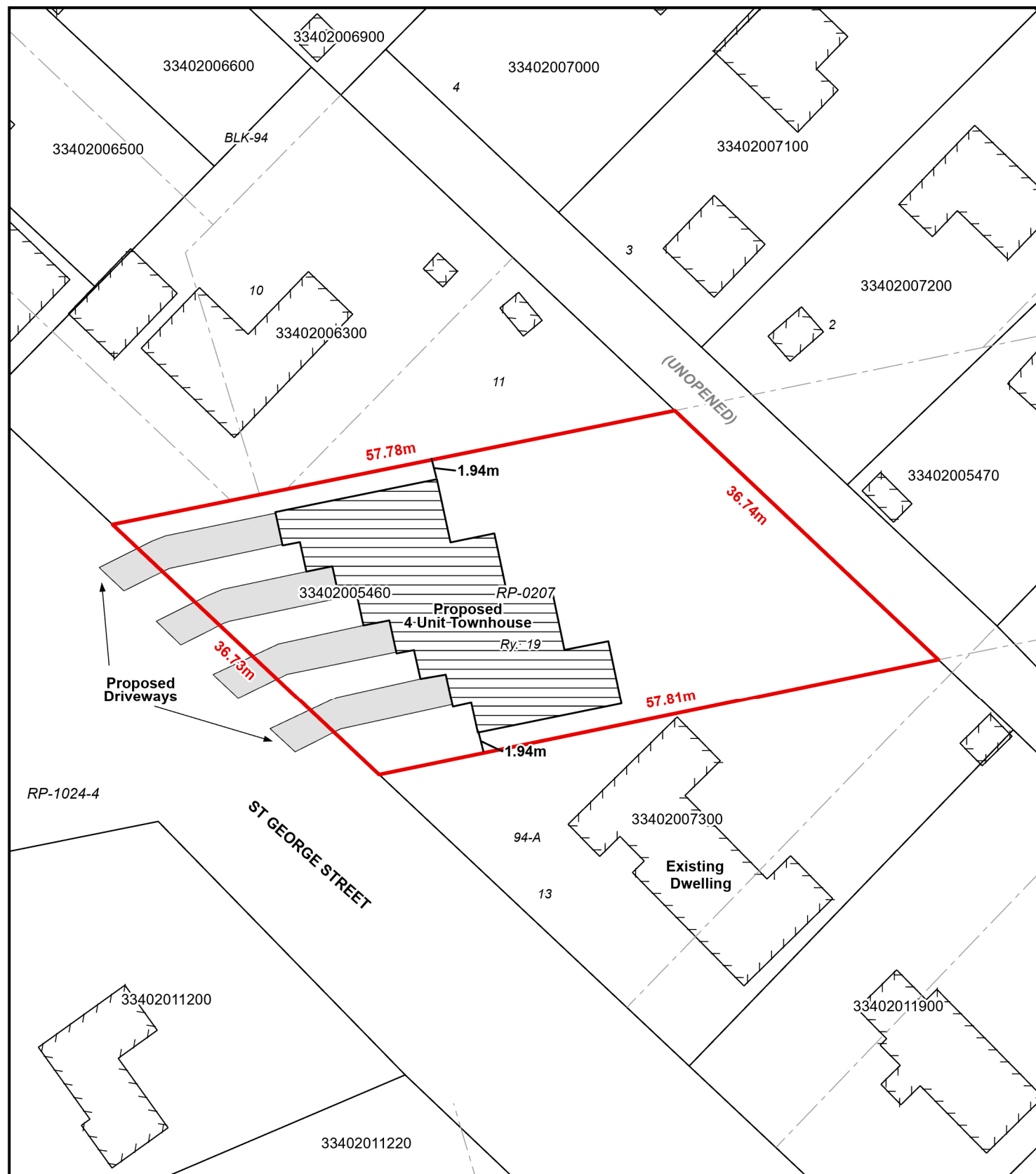
11/27/2025



4 2 0 4 8 12 16 Meters

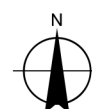
CONCEPTUAL PLAN

Urban Area of PORT DOVER



Legend

Subject Lands



11/27/2025

4 2 0 4 8 12 16 Meters